



GRANT & 3RD NOVATO, CA

DESIGN REVIEW SUBMITTAL MARCH 15 2024

CS-1 | COVER SHEET

CIVIL ENGINEERING

TM - 1	TENTATIVE PARCEL MAP
C.1	EXISTING CONDITION PLAN
C.2	PRELIM. UTILITY PLAN
C.3	PRELIM. GRADING & DRAINAGE PLAN
C.4	PRELIM. STORM WATER MANAGEMENT PLAN
C.6	PRELIM. EROSION AND SEDIMENT CONTROL PLAN

ARCHITECTURE

A1.0	CONCEPTUAL SITE PLAN
A1.1	CONCEPTUAL SITE SECTIONS
A2.0	CONCEPTUAL BUILDING PLANS
A3.0	CONCEPTUAL UNIT PLANS
A4.0	CONCEPTUAL BUILDING ELEVATIONS
A4.1	CONCEPTUAL BUILDING ELEVATIONS
A5.0	CONCEPTUAL 3D VIEWS
A6.0	CONCEPTUAL MATERIAL AND COLOR BOARD
A7.0	CONCEPTUAL METAL AWNING DETAILS

LANDSCAPE

L1	LANDSCAPE MASTER PLAN
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CURRENT ZONING:	CDR, DOWNTOWN OVERLAY
GENERAL PLAN:	DOWNTOWN CORE
EXISTING USE:	RETAIL
APN:	141-262-13 & 141-262-12
PROPOSED USE:	MIXED USE
PROJECT ADDRESS:	1212 & 1214 GRANT AVENUE NOVATO, CA 94945
NUMBER OF STORIES:	5 STORIES
PROPOSED TYPE OF CONSTRUCTION:	TYPE III ON GRADE
AUTOMATIC SPRINKLER:	YES
FAR:	
ALLOWABLE FAR:	2
PROPOSED FAR:	3.06
LOT SIZE:	
SUBJECT PROPERTY:	0.34 (14,810 SF)
RETAIL PROVIDED:	735 SF
NUMBER OF UNITS:	56 UNITS
DENSITY:	56 UNITS / 0.34 ACRES = 165 DU/AC
UNIT MIX:	
STUDIOS:	4 UNITS (7%)
1 BEDROOM:	52 UNITS (93%)
TOTAL:	56 UNITS
GROSS FLOOR AREA:	
1ST FLOOR/ PODIUM LEVEL (INCLUDING RETAIL):	9,492 SF
2ND FLOOR:	8,986 SF
3RD FLOOR:	8,986 SF
4TH FLOOR:	8,986 SF
5TH FLOOR:	8,986 SF
GRAND TOTAL:	45,436 SF
OPEN SPACE CALCULATIONS:	
REQUIRED COMMON OPEN SPACE: 150 SF/UNIT:	8,400 SF
PROVIDED ENCLOSED COMMON SPACE (AMENITIES):	1,350 SF
VEHICLE PARKING:	
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a)	0 STALLS
PROVIDED:	0 STALLS
BICYCLE PARKING:	
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a)	0 STALLS
PROVIDED:	40 STALLS
MOTORCYCLE PARKING:	
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a)	0 STALLS
PROVIDED:	0 STALLS
SETBACK:	REQUIRED PROVIDED
FRONT (ALONG GRANT AVENUE):	0' 8'-6"
SIDE INTERIOR (ALONG 3RD STREET):	0' 8'-3"
SIDE INTERIOR (ALONG 2ND STREET):	- 16'-5"
REAR (ALONG NORTH PROPERTY LINE):	0' 9'-0"
MAXIMUM BUILDING HEIGHT:	REQUIRED PROVIDED
	45'-0"*** 64'-4" (TOP OF STAIR)

*Structures with heights 20' and over shall set back upper portions of the structure a minimum of 10' from side property lines for each additional story above two.
 ** 45' (excluding roof design) permitted with design review

PROJECT TEAM

Project Team

APPLICANT/OWNER:
AMG & ASSOCIATES, LLC
 PO Box 260770
 Encino, CA 91426
 (818) 380-2600 Ext. 14
 Contact: Alexis Gevorgian
 agevorgian@amglad.com

RESIDENTIAL ARCHITECT:
AO
 144 North Orange Street
 Orange, CA 92866
 (714) 639-9860
 Contact: Ioanna Magiati
 ioannam@aoarchitects.com
 Contact: Drishti Shah
 drishfis@aoarchitects.com

CIVIL ENGINEER:
RUGGERI-JENSEN-AZAR
 4690 Chabot Drive
 Suite 200
 Pleasanton, CA 94588
 (925) 227-9100
 Contact: Alex Azar
 aazar@rja-gps.com

LANDSCAPE ARCHITECT:
THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
 P.O. BOX 170129
 Boise, ID 83717
 (530) 892-8897
 Contact: Thomas Phelps
 thp@idlainc.net



VICINITY MAP



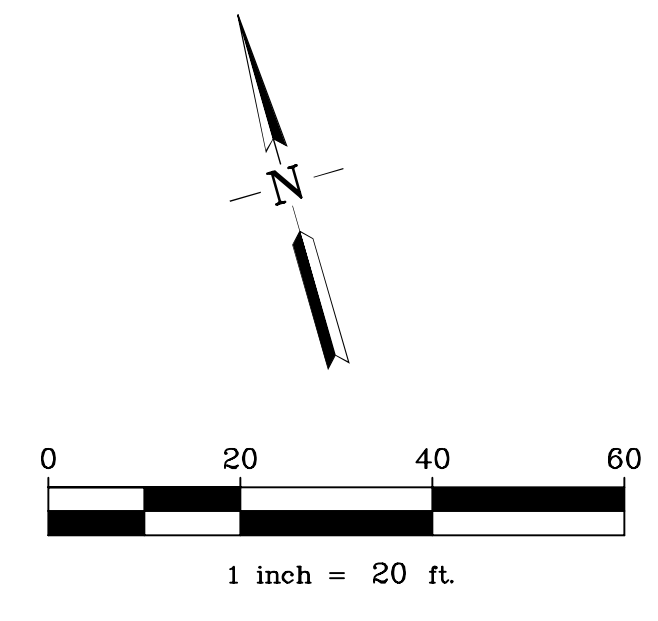
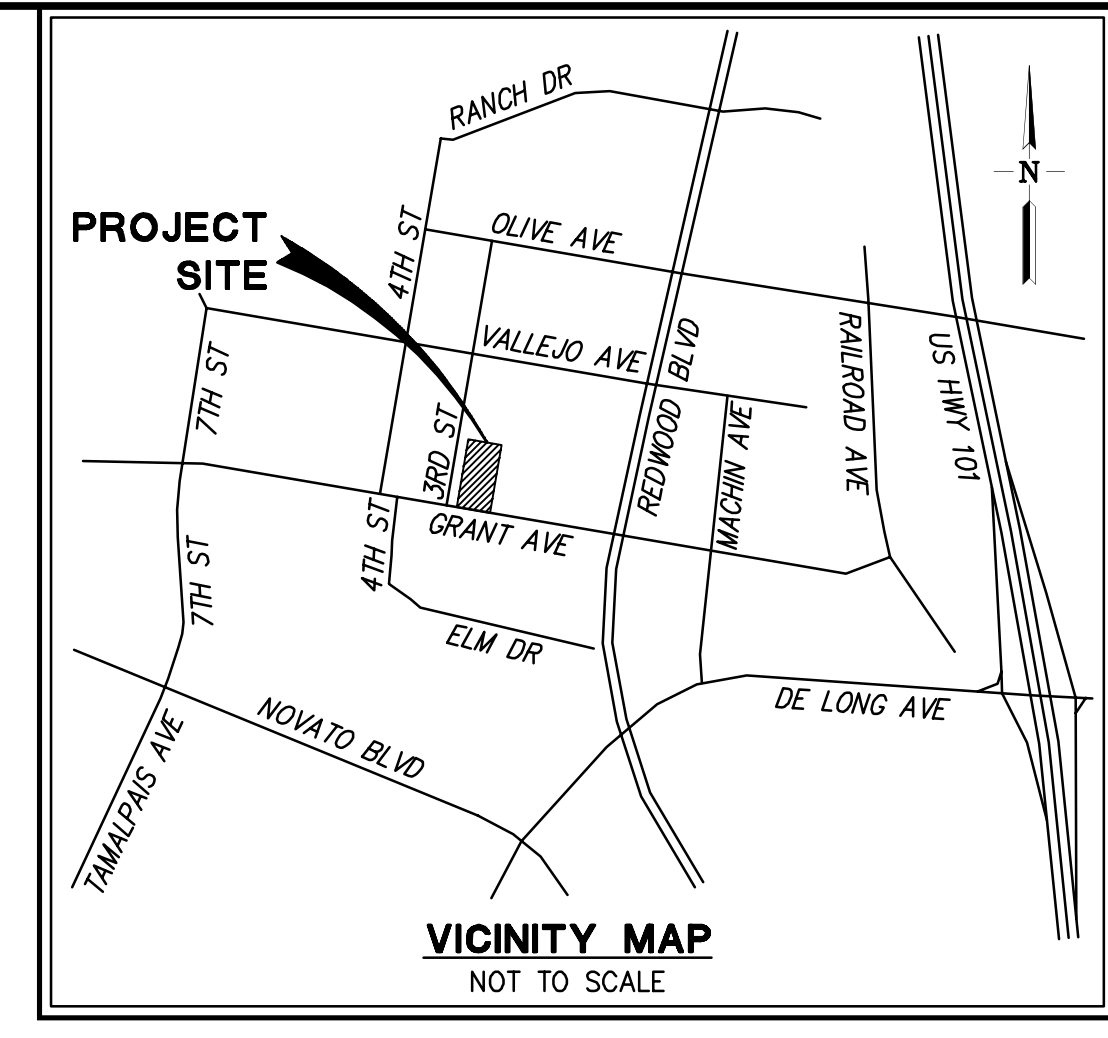
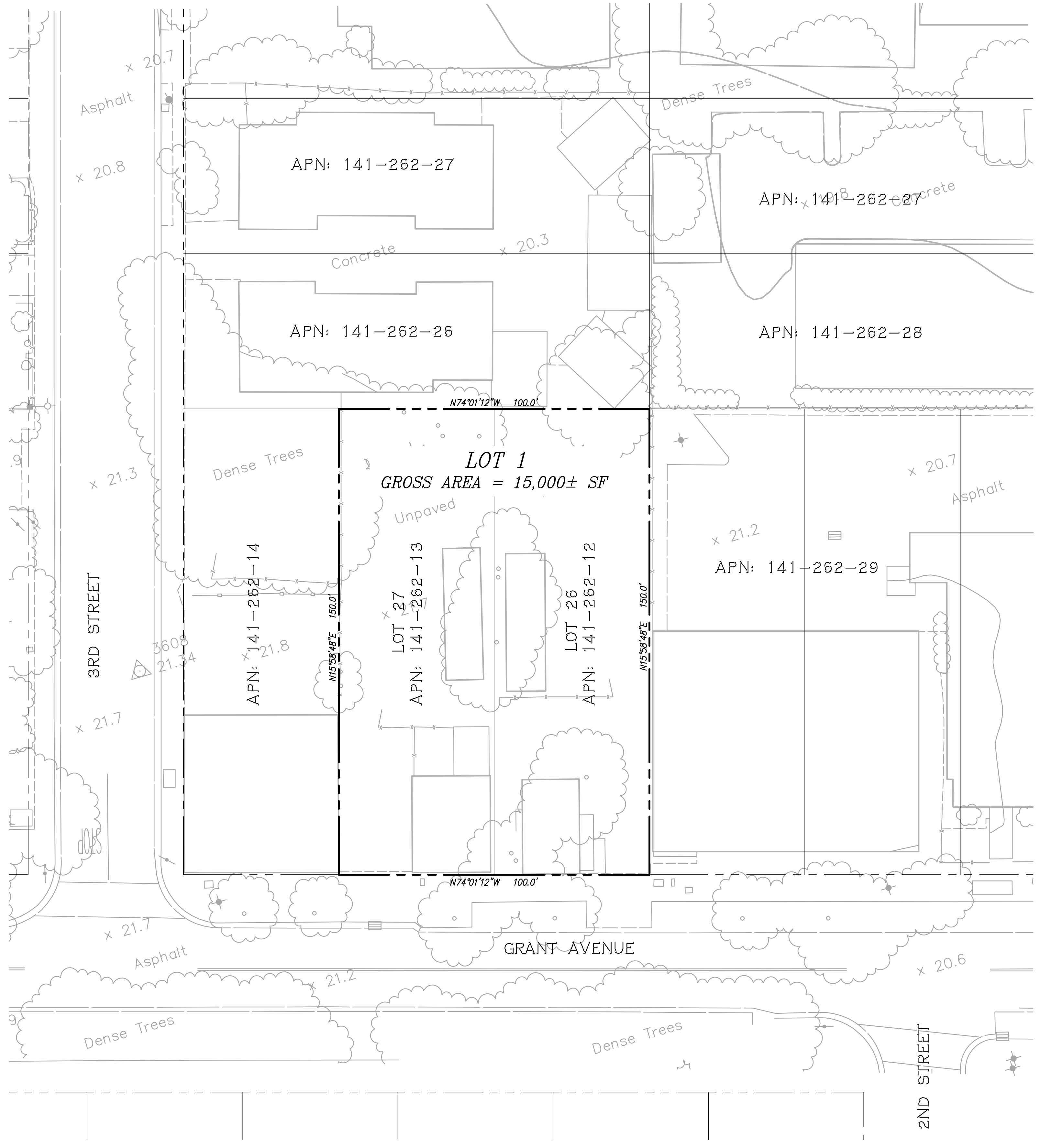
GRANT & 3RD
 Novato, CA

Cover Sheet



CS-1

Scale
 Job No. 2020-0296
 Date 03-15-2024



GENERAL NOTES:

- OWNER:** ELLOWAY FAMILY LIVING TRUST AND NORMAN ELLOWAY
C/O AMG & ASSOCIATES
PO BOX 260770
ENCINO, CA 91426
(818) 600-2518
MS. AMANDA LOCKE
- DEVELOPER:** AMG & ASSOCIATES
PO BOX 260770
ENCINO, CA 91426
(818) 600-2518
MS. AMANDA LOCKE
- CIVIL ENGINEER:** RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
(925) 227-9100
ALEXANDER AZAR
- PROPERTY DESCRIPTION:** PARCEL ONE: LOTS 26 AND 27 IN BLOCK D SUBDIVISION ONE SWEETSER RANCH NOVIATO CAL., FILED JULY 15, 1913 IN BOOK 4 OF MAPS AT PAGE 49, MARIN COUNTY RECORDS.
- ASSESSOR'S PARCEL NUMBERS:** 141-261-12, 141-261-13
- GROSS AREA:** 15,000± SQUARE FEET (0.34± ACRES)
- EXISTING USE:** COMMERCIAL/RESIDENTIAL
- PROPOSED USE:** COMMERCIAL/RESIDENTIAL
- TOTAL NUMBER OF PROPOSED LOTS:** 1
- UTILITIES:**
 - WATER:** NORTH MARIN WATER DISTRICT
 - SANITARY SEWER:** NOVIATO SANITARY DISTRICT
 - STORM DRAIN:** CITY OF NOVIATO
 - GAS AND ELECTRIC:** PACIFIC GAS & ELECTRIC
 - TELEPHONE:** COMCAST
 - CABLE TV:** COMCAST
- THE INTENT OF THIS PARCEL MAP IS TO MERGE THE TWO EXISTING PARCELS INTO ONE LOT.**

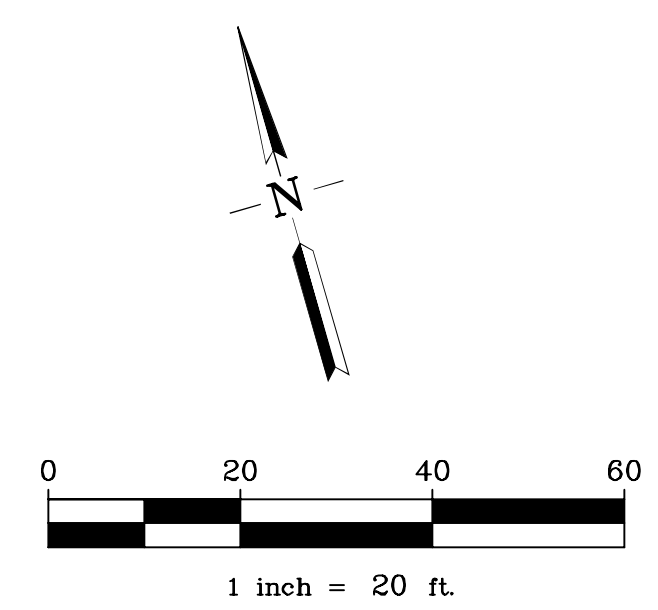
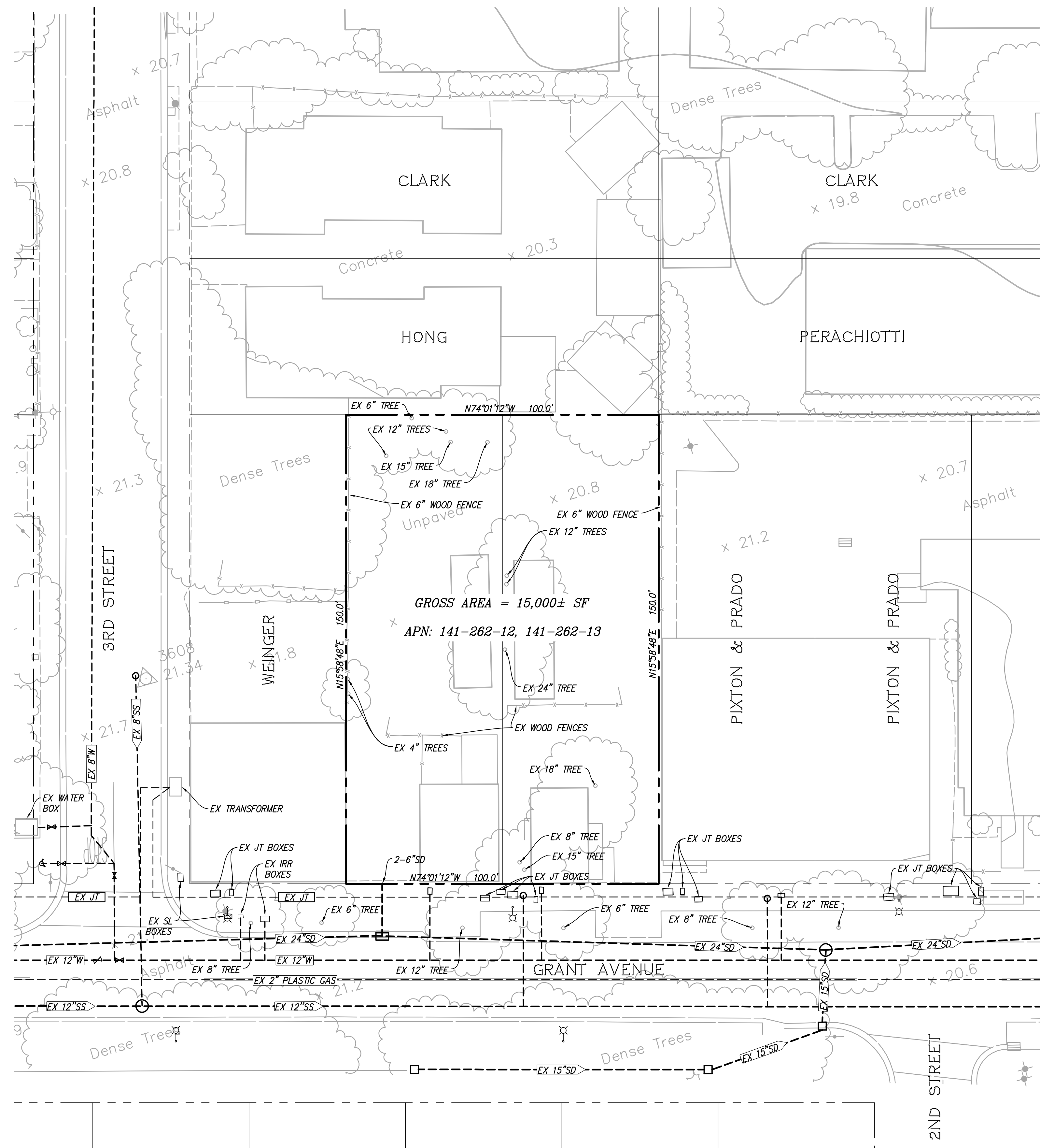
TENTATIVE PARCEL MAP
1214 GRANT AVENUE MIXED USE
 CITY OF NOVIATO, MARIN COUNTY, CALIFORNIA
 FOR: AMG & ASSOCIATES

RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
 PHONE: (925) 227-9100 FAX: (925) 227-9300

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LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	EASEMENT LINE	---
---(12"SD)---	STORM DRAIN	---(EX 12"SD)---
---(8"SS)---	SANITARY SEWER	---(EX 12"SS)---
---(12"W)---	POTABLE WATER	---(EX 12"W)---
---(8"FS)---	FIRE SERVICE	---(EX 8"FS)---
---	CURB & GUTTER	---
---	PCC SIDEWALK	---
■	STORM WATER INLET	□
○	FIELD INLET	○
○	MANHOLE	○
○	SANITARY SEWER CLEAN OUT	○
○	SANITARY SEWER LATERAL	○
○	FIRE HYDRANT	○
○	WATER SERVICE WITH METER BOX	○
○	WATER VALVE	○
○	BACKFLOW	○
○	STREET LIGHT	○
○	TRAFFIC SIGN	○
○	FENCE	○
○	CURB RAMP	○
○	SPOT ELEVATION	○
○	NEW PAVEMENT	○



NOTES:

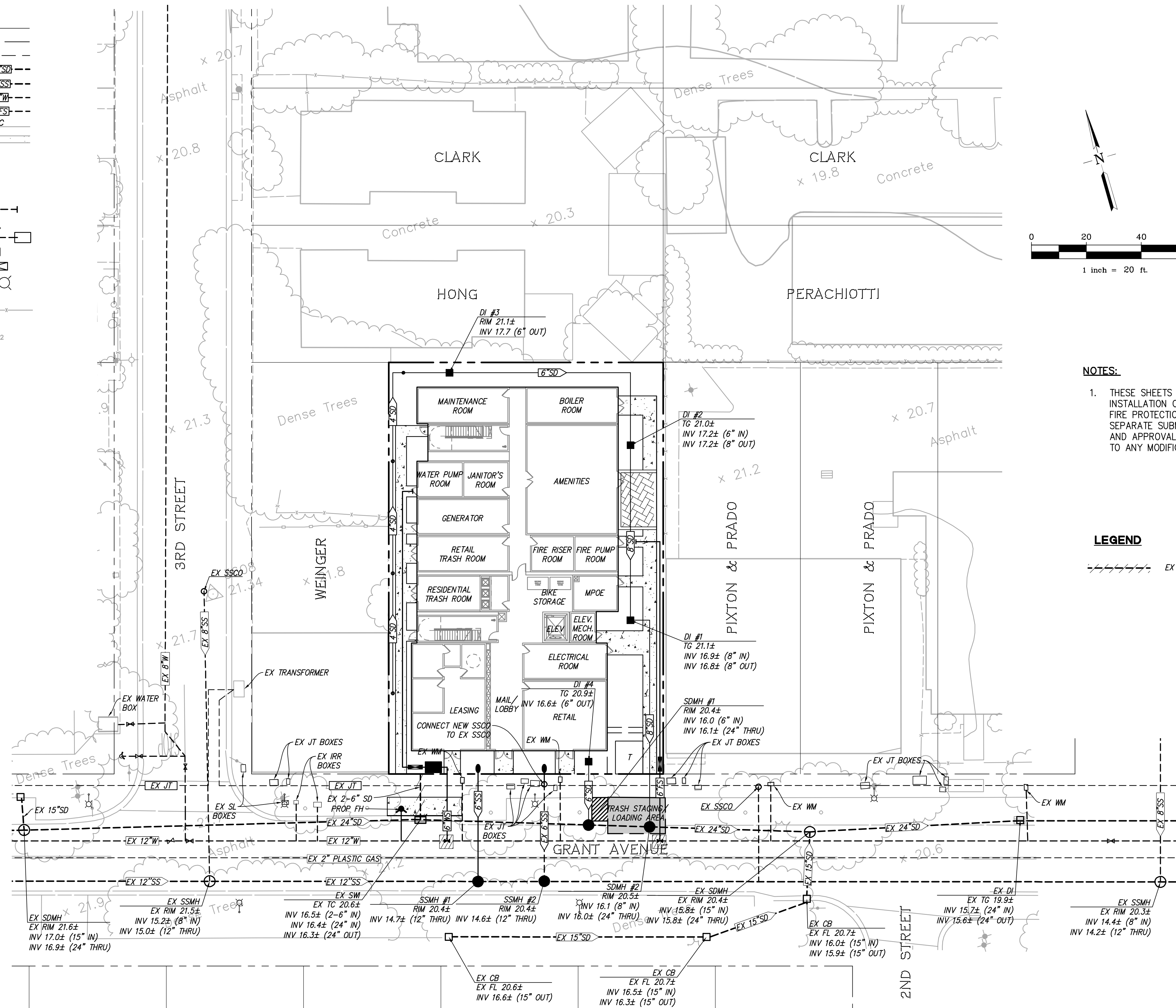
1. THE PROPERTY IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER, 06041C0277E, DATED MARCH 16, 2016.
2. THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.

EXISTING CONDITIONS PLAN
1214 GRANT AVENUE MIXED USE
 CITY OF NOVATO, MARIN COUNTY, CALIFORNIA
 FOR: AM&A ASSOCIATES

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LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	EASEMENT LINE	---
12" SD	STORM DRAIN	EX 12" SD
8" SS	SANITARY SEWER	EX 12" SS
12" W	POTABLE WATER	EX 12" W
8" FS	FIRE SERVICE	EX 8" FS
---	CURB & GUTTER	EX FC
---	PCC SIDEWALK	---
■	STORM WATER INLET	□
○	FIELD INLET	○
○	MANHOLE	○
○	SANITARY SEWER CLEAN OUT	○
○	SANITARY SEWER LATERAL	○
○	FIRE HYDRANT	○
○	WATER SERVICE WITH METER BOX	○
○	WATER VALVE	○
○	BACKFLOW	○
○	STREET LIGHT	○
○	TRAFFIC SIGN	○
○	FENCE	○
○	CURB RAMP	○
○	SPOT ELEVATION	○
○	NEW PAVEMENT	○



NOTES:

1. THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.

LEGEND

--- EX UTILITY TO BE REMOVED

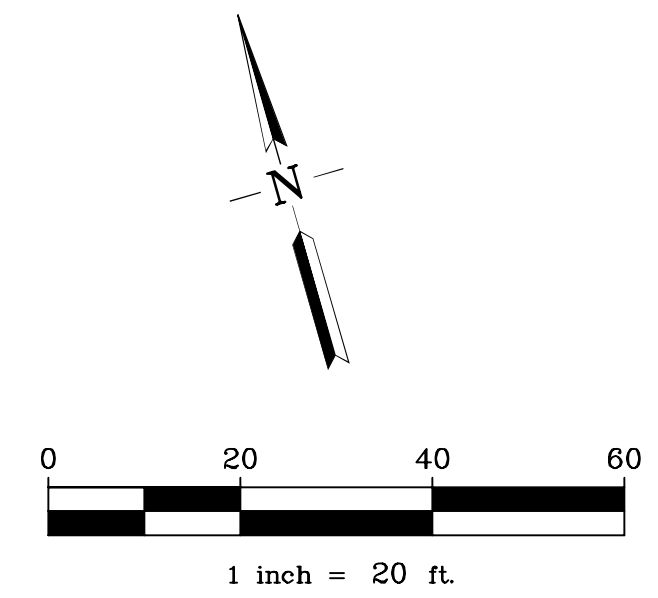
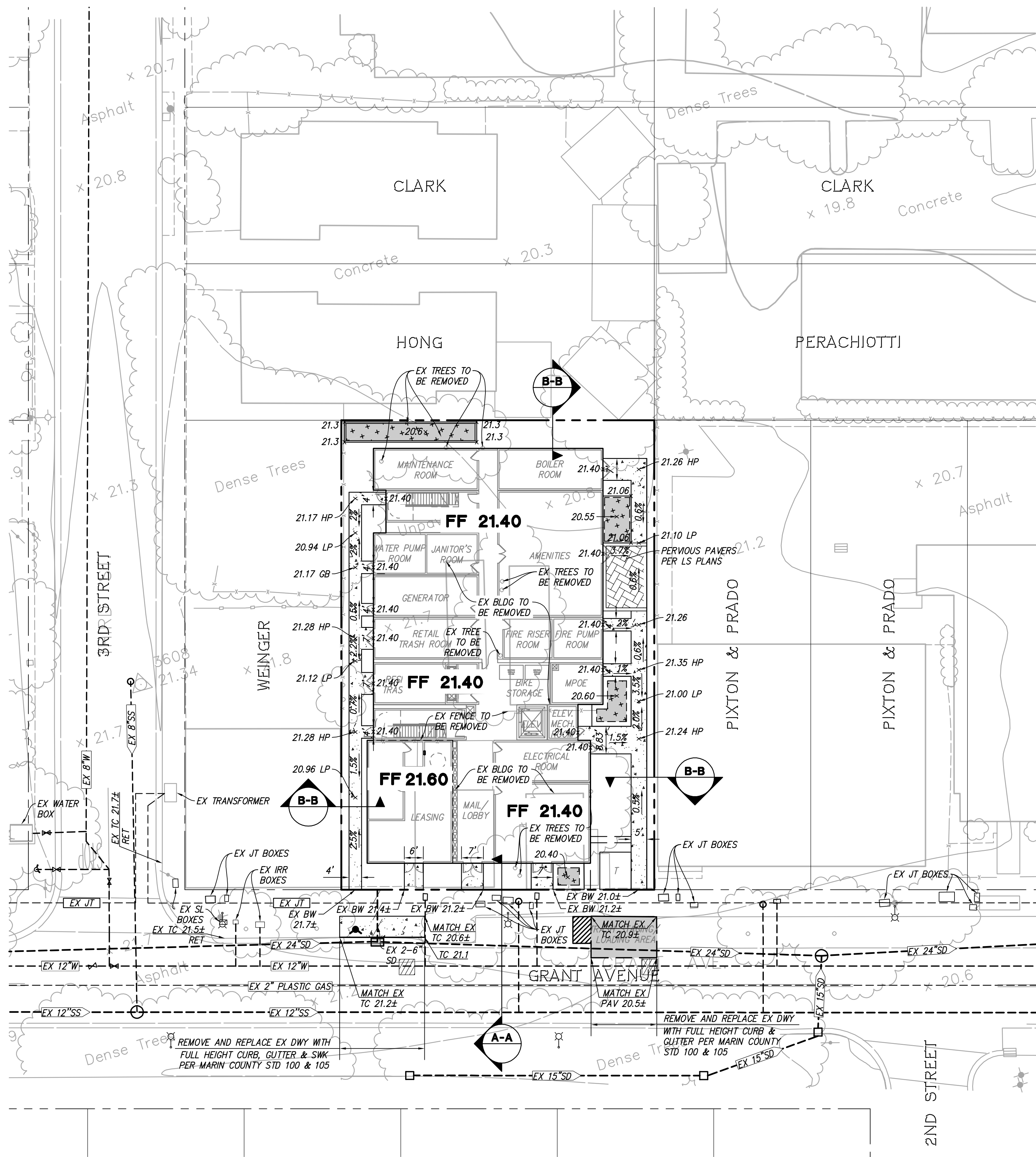
PRELIMINARY UTILITY PLAN
1214 GRANT AVENUE MIXED USE
 CITY OF NOVATO, MARIN COUNTY, CALIFORNIA
 FOR: AM & ASSOCIATES


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 ENGINEERS • PLANNERS • SURVEYORS
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 PHONE: (925) 227-9100 FAX: (925) 227-9300

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LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	EASEMENT LINE	---
---	STORM DRAIN	---
---	SANITARY SEWER	---
---	POTABLE WATER	---
---	FIRE SERVICE	---
---	CURB & GUTTER	---
---	PCC SIDEWALK	---
■	STORM WATER INLET	□
○	FIELD INLET	○
○	MANHOLE	○
○	SANITARY SEWER CLEAN OUT	○
○	SANITARY SEWER LATERAL	○
○	FIRE HYDRANT	○
○	WATER SERVICE WITH METER BOX	○
○	WATER VALVE	○
○	BACKFLOW	○
○	STREET LIGHT	○
○	TRAFFIC SIGN	○
○	FENCE	○
○	CURB RAMP	○
○	SPOT ELEVATION	○
○	NEW PAVEMENT	○



NOTES:

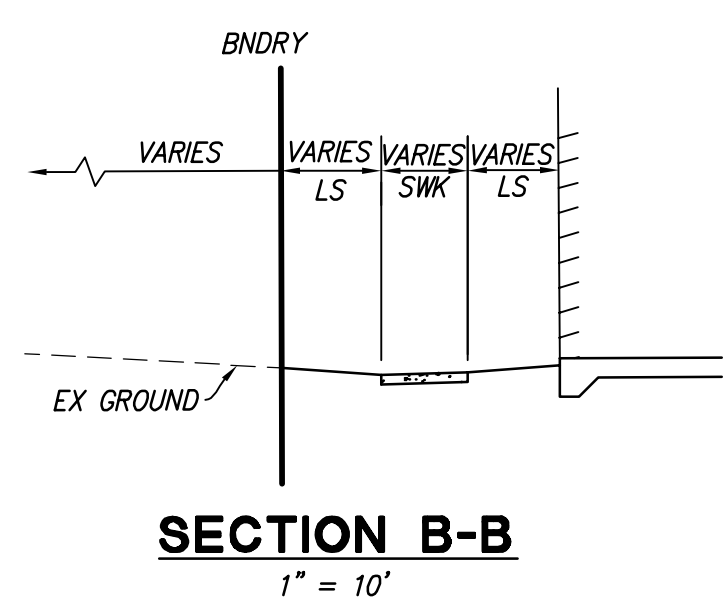
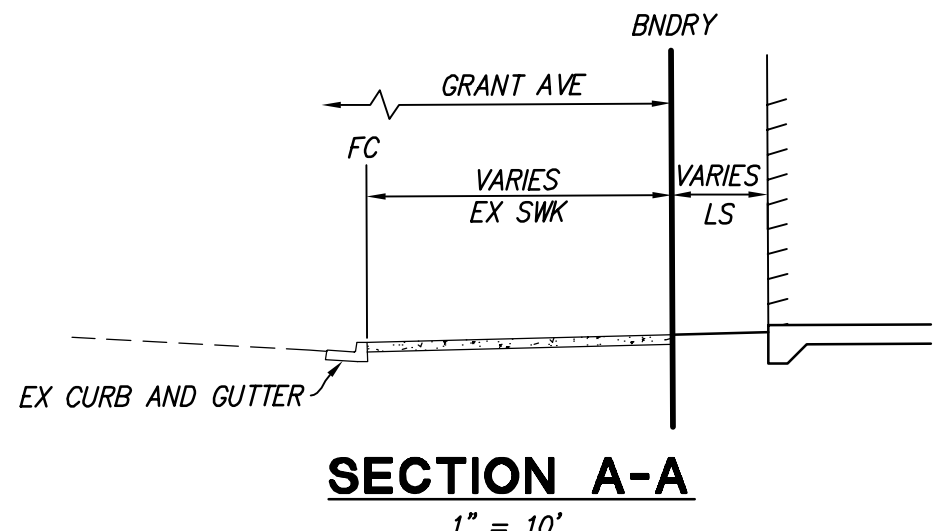
1. THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.

LEGEND

--- EX UTILITY TO BE REMOVED

PRELIMINARY ESTIMATED EARTHWORK QUANTITIES		
ITEMS	CUT (C.Y.)	FILL (C.Y.)
BUILDING	360	-
BIORETENTION	120	-
SIDEWALK	10	-
UTILITY TRENCH SPOILS	100	-
FOUNDATION AND PLUMBING SPOILS	200	-
SHRINKAGE (ASSUME 5%)	-	-
TOTAL	790	-
EXPORT	790	-

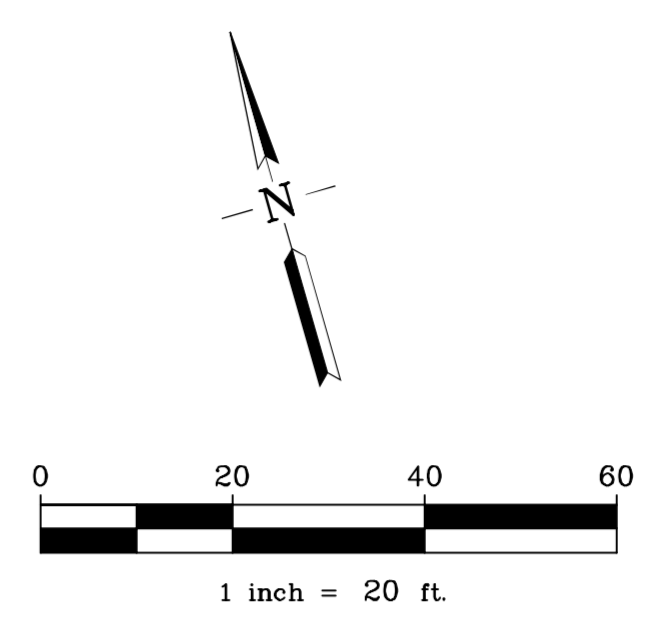
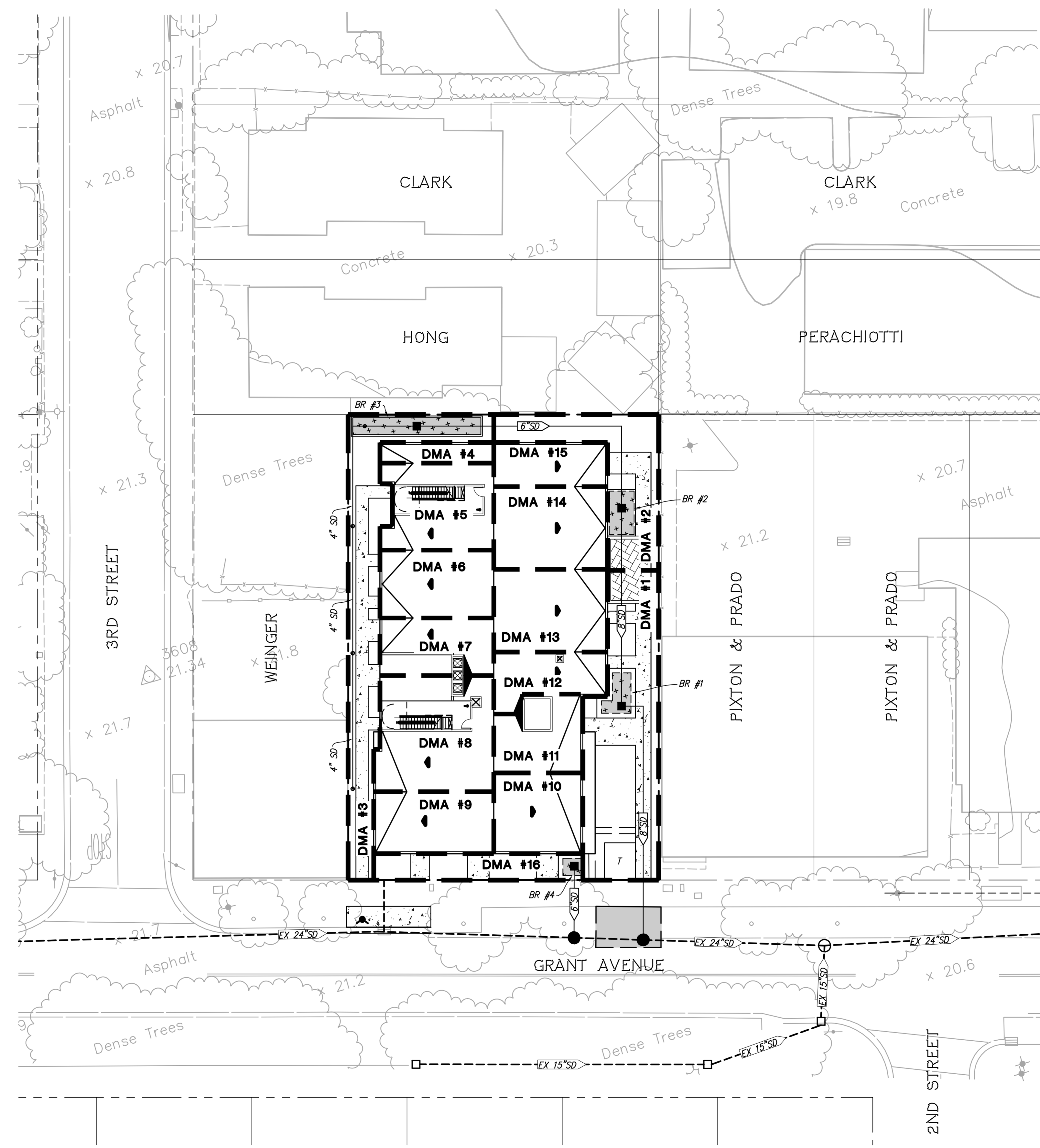
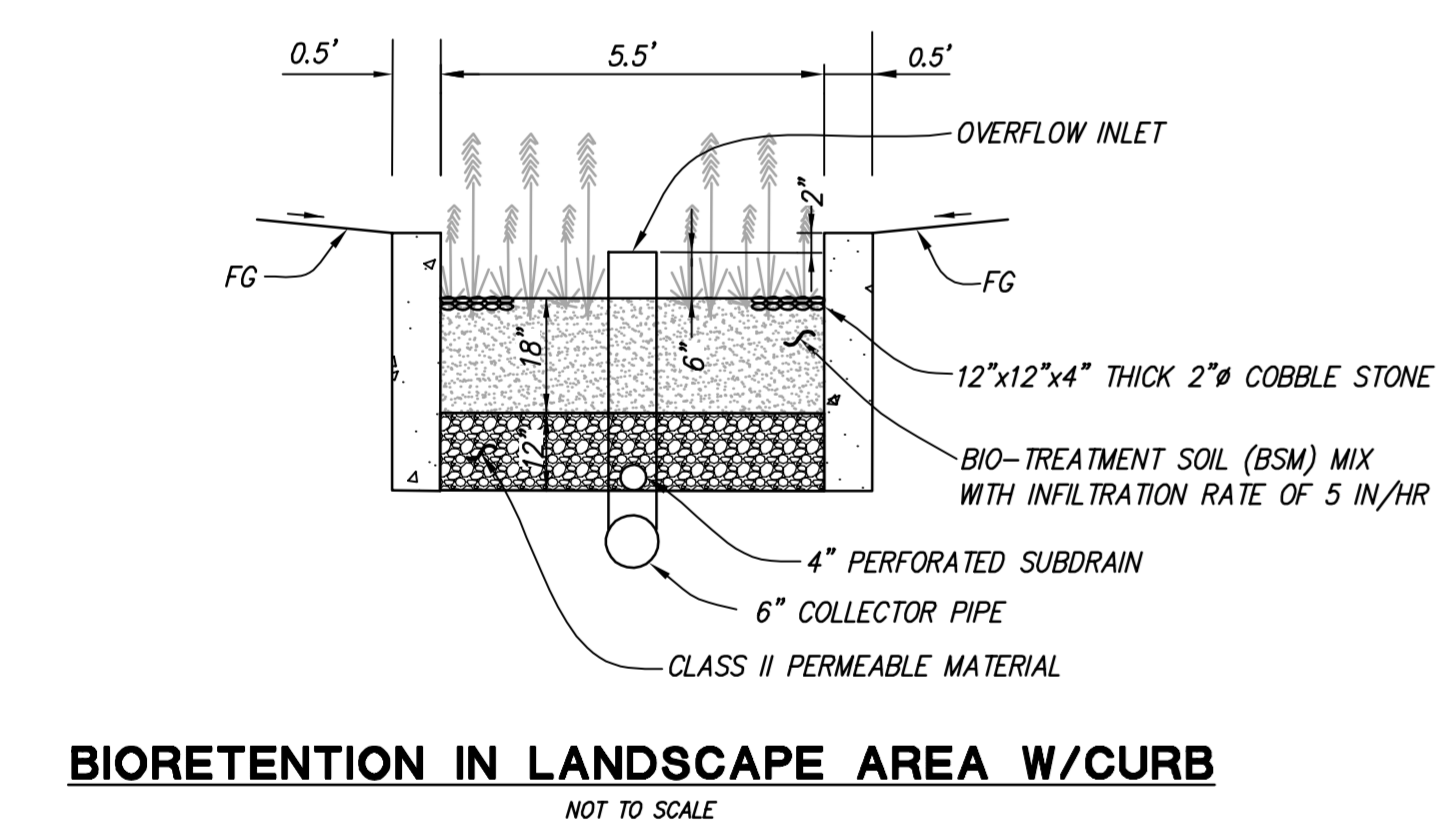
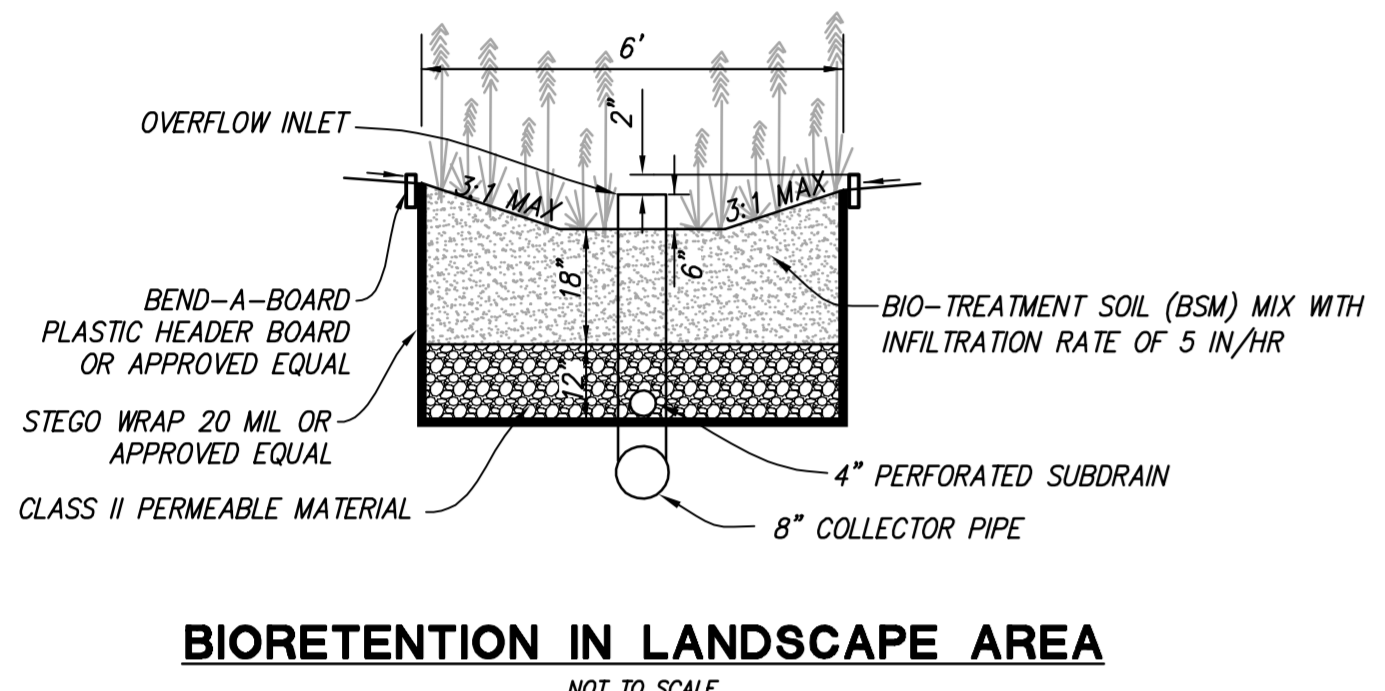
1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" ELEVATIONS AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. SHRINKAGE WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER.



PRELIMINARY GRADING AND DRAINAGE PLAN
1214 GRANT AVENUE MIXED USE
 CITY OF NOVATO, MARIN COUNTY, CALIFORNIA
 FOR: AM&A ASSOCIATES


RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
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 PHONE: (925) 227-9100 FAX: (925) 227-9300

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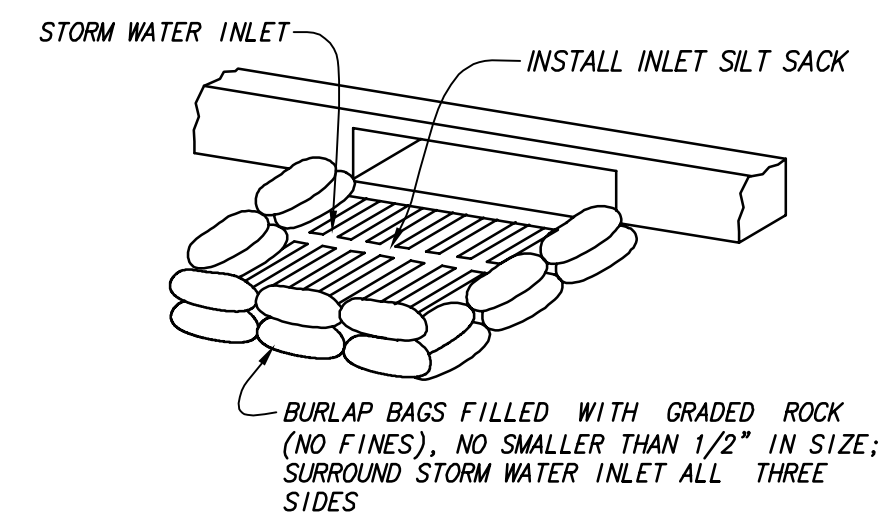
- NOTES:**
- HYDROMODIFICATION IS NOT REQUIRED DUE TO THE PROJECT CREATING AND/OR REPLACING LESS THAN ONE ACRE OF IMPERVIOUS SURFACE AREA. THE TOTAL AREA OF THE SITE IS 0.34± ACRES.
 - THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.
 - EACH OF DMA #1-3 ARE SPLIT UP INTO SUB-REGIONS. SUB-REGION "A" REFERS TO THE LANDSCAPE PORTION OF THE DMA, SUB-REGION "B" REFERS TO THE IMPERVIOUS PORTION OF THE DMA, AND SUB-REGION "C" REFERS TO THE PORTION OF THE DMA THAT CONSISTS OF PERVIOUS PAVERS.

- LEGEND:**
- BIORETENTION IN LANDSCAPE AREA
 - BIORETENTION IN LANDSCAPE AREA W/CURB

DMA NAME	DMA AREA (SF)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	SIZING FACTOR	MINIMUM FACILITY AREA (SF)	PROPOSED FACILITY AREA (SF)	FACILITY TYPE	FACILITY NAME
1	1,195	LANDSCAPE	0.1	120	0.04	5	6	BIORETENTION	BR #1
	915	IMPERVIOUS	1.0	915	0.04	37	37	BIORETENTION	BR #1
2	956	LANDSCAPE	0.1	96	0.04	4	4	BIORETENTION	BR #2
	236	IMPERVIOUS	1.0	236	0.04	9	9	BIORETENTION	BR #2
3	1,189	LANDSCAPE	0.1	119	0.04	5	5	BIORETENTION	BR #3
	646	IMPERVIOUS	1.0	646	0.04	26	26	BIORETENTION	BR #3
4	243	IMPERVIOUS	1.0	243	0.04	10	10	PLANTER	BR #3
5	972	IMPERVIOUS	1.0	972	0.04	39	39	PLANTER	BR #3
6	801	IMPERVIOUS	1.0	801	0.04	32	32	PLANTER	BR #3
7	678	IMPERVIOUS	1.0	678	0.04	27	27	PLANTER	BR #3
8	1,400	IMPERVIOUS	1.0	1,400	0.04	56	56	PLANTER	BR #3
9	771	IMPERVIOUS	1.0	771	0.04	31	31	PLANTER	BR #3
10	746	IMPERVIOUS	1.0	746	0.04	30	30	PLANTER	BR #4
11	674	IMPERVIOUS	1.0	674	0.04	27	27	PLANTER	BR #1
12	550	IMPERVIOUS	1.0	550	0.04	22	22	PLANTER	BR #1
13	977	IMPERVIOUS	1.0	977	0.04	39	39	PLANTER	BR #2
14	959	IMPERVIOUS	1.0	959	0.04	38	38	PLANTER	BR #2
15	522	IMPERVIOUS	1.0	522	0.04	21	21	PLANTER	BR #2
16	169	IMPERVIOUS	1.0	169	0.04	7	7	BIORETENTION	BR #4
	401	LANDSCAPE	0.1	40	0.04	2	2	BIORETENTION	BR #4
TOTAL	15,000					465	468		

PRELIMINARY STORMWATER MANAGEMENT PLAN
1214 GRANT AVENUE MIXED USE
 CITY OF NOVATO, MARIN COUNTY, CALIFORNIA
 FOR: AM& ASSOCIATES

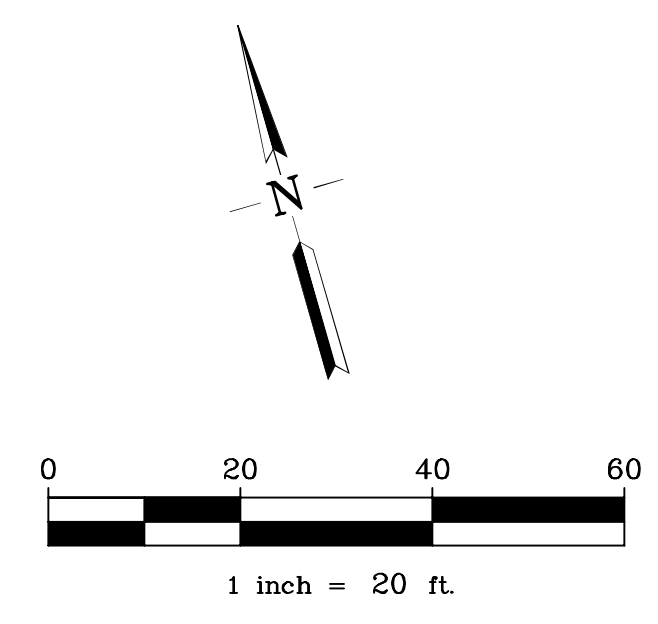
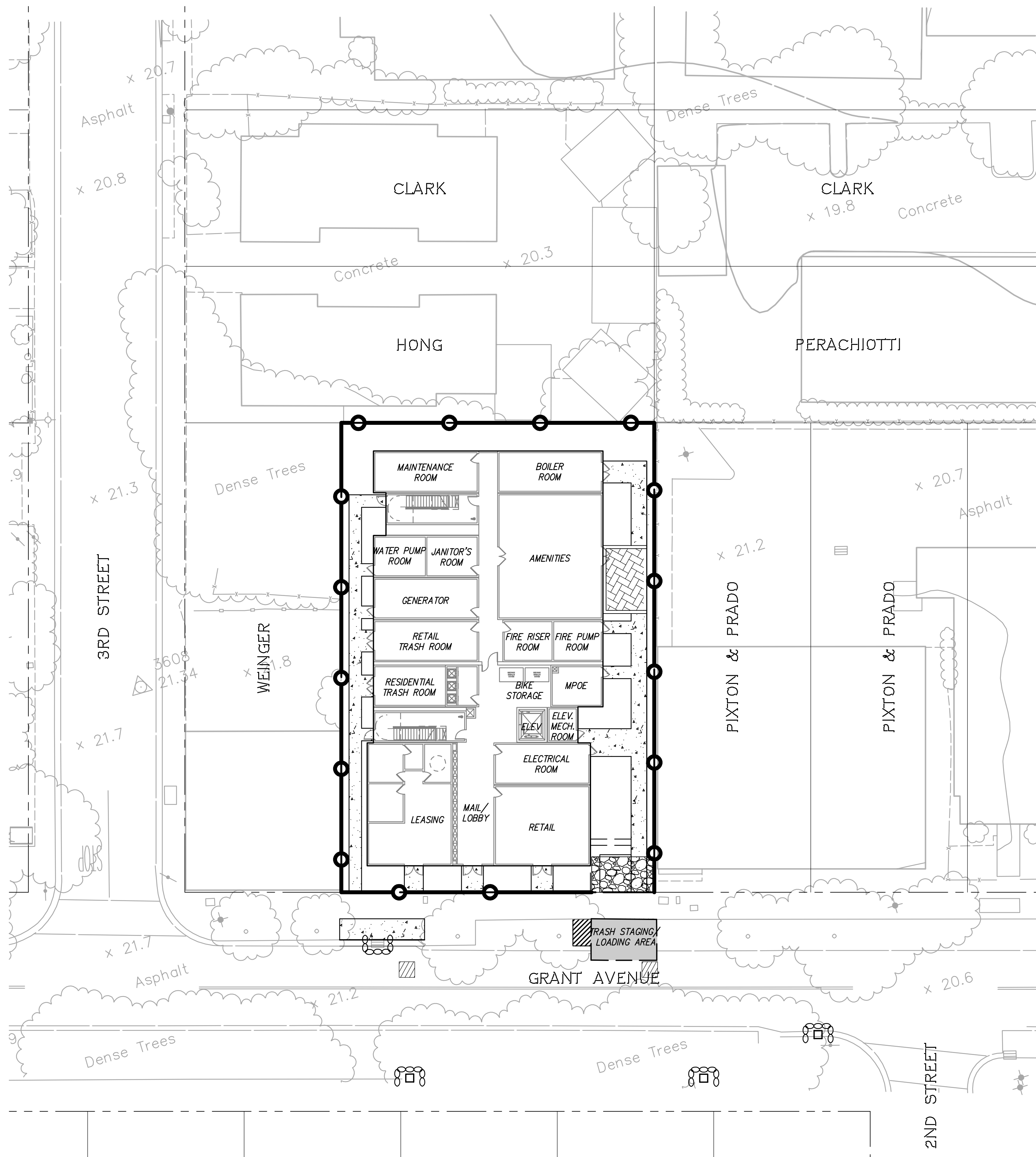




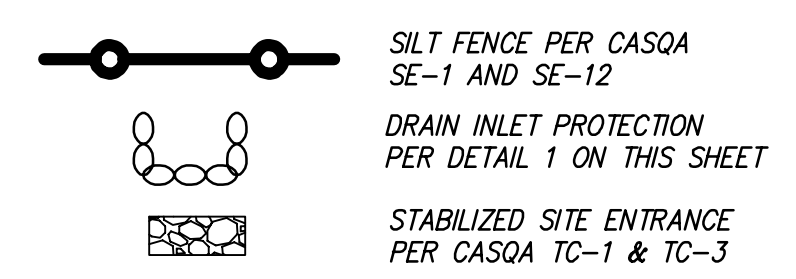
NOTES:

1. THICKNESS OF FILLED BAGS WHEN LAID FLAT SHALL NOT EXCEED 4".
2. ENSURE THERE ARE NO GAPS BETWEEN THE BAGS OR BETWEEN THE BAGS AND THE FACE OF CURB.
3. REMOVE ACCUMULATED SLIT, DIRT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK IN THE GUTTER.
4. INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.

DETAIL 1 - BURLAP SACK STORMWATER INLET SEDIMENT FILTER
NOT TO SCALE



LEGEND



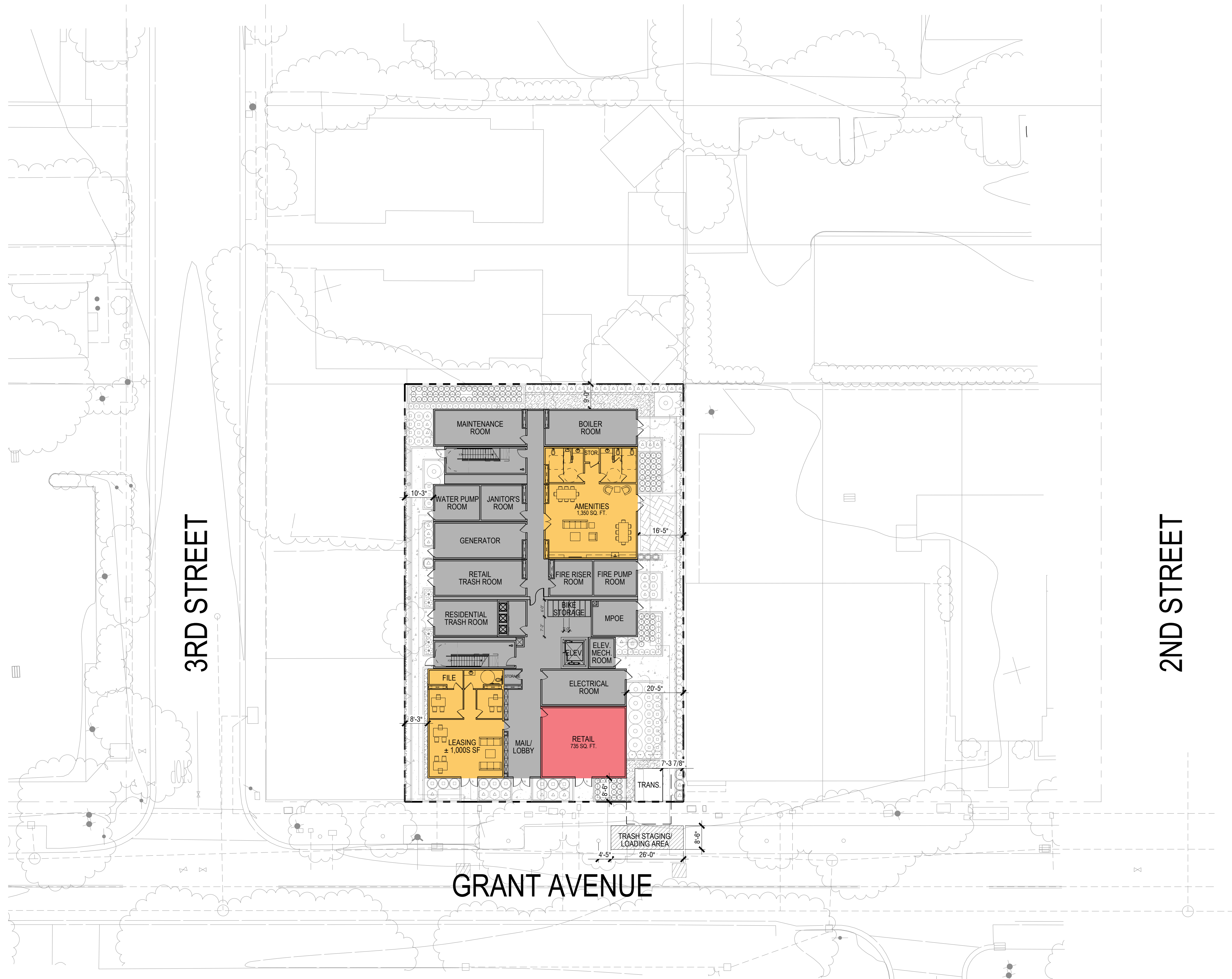
EROSION CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30).
2. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
3. ALL EXPOSED SOIL SHALL BE COVERED WITH STRAW MULCH AND TACKIFIER (OR EQUIVALENT) PER CASQA EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, AND EC-16.
4. SOIL PREPARATION SHALL BE CONDUCTED PER CASQA EC-15.
5. IN CASE OF EMERGENCY, PLEASE CONTACT AMANDA LOCKE AT (818) 600-2518.
6. ALL EXISTING INLETS WITHIN 50' OF THE PROJECT BOUNDARY SHALL BE PROTECTED WITH A BURLAP SACK STORMWATER INLET SEDIMENT FILTER.

PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN
1214 GRANT AVENUE MIXED USE
CITY OF NOVATO, MARIN COUNTY, CALIFORNIA
FOR: AM&A ASSOCIATES

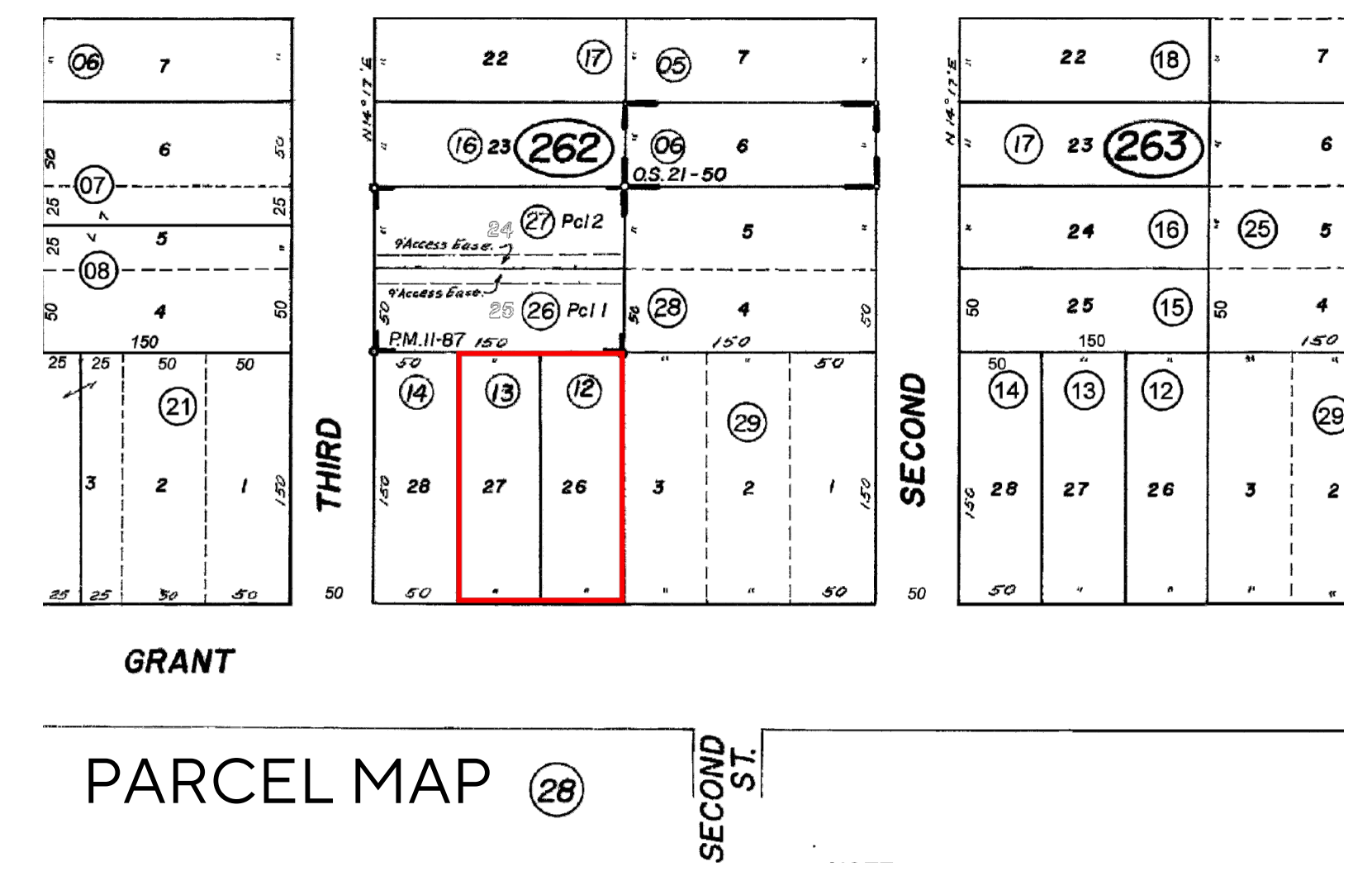
RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

© 2024 RJA (201075) CAD FILES (2-PLANING) TEXT (MAP) TMC DEC-201075.DWG 3/14/2024 2:27:50 PM PARTH PRASAD

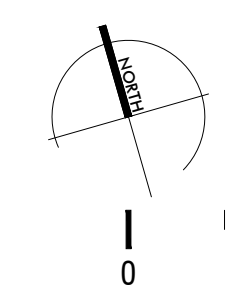


CURRENT ZONING:	CDR, DOWNTOWN OVERLAY	
GENERAL PLAN:	DOWNTOWN CORE	
EXISTING USE:	RETAIL	
APN:	141-262-13 & 141-262-12	
PROPOSED USE:	MIXED USE	
PROJECT ADDRESS:	1212 & 1214 GRANT AVENUE NOVATO, CA 94945	
NUMBER OF STORIES:	5 STORIES	
PROPOSED TYPE OF CONSTRUCTION:	TYPE III ON GRADE	
AUTOMATIC SPRINKLER:	YES	
FAR:		
ALLOWABLE FAR:	2	
PROPOSED FAR:	3.06	
LOT SIZE:		
SUBJECT PROPERTY:	0.34 (14,810 SF)	
RETAIL PROVIDED:	735 SF	
NUMBER OF UNITS:	56 UNITS	
DENSITY:	56 UNITS / 0.34 ACRES = 165 DU/AC	
UNIT MIX:		
STUDIOS:	4 UNITS (7%)	
1 BEDROOM:	52 UNITS (93%)	
TOTAL:	56 UNITS	
GROSS FLOOR AREA:		
1ST FLOOR/ PODIUM LEVEL (INCLUDING RETAIL):	9,492 SF	
2ND FLOOR:	8,986 SF	
3RD FLOOR:	8,986 SF	
4TH FLOOR:	8,986 SF	
5TH FLOOR:	8,986 SF	
GRAND TOTAL:	45,436 SF	
OPEN SPACE CALCULATIONS:		
REQUIRED COMMON OPEN SPACE: 150 SF/UNIT:	8,400 SF	
PROVIDED ENCLOSED COMMON SPACE (AMENITIES):	1,350 SF	
VEHICLE PARKING:		
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a):	0 STALLS	
PROVIDED:	0 STALLS	
BICYCLE PARKING:		
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a):	0 STALLS	
PROVIDED:	40 STALLS	
MOTORCYCLE PARKING:		
REQUIRED: NONE PURSUANT TO GOV. CODE §65915(p)(3)(a):	0 STALLS	
PROVIDED:	0 STALLS	
SETBACK:	REQUIRED	PROVIDED
FRONT (ALONG GRANT AVENUE):	0'	8'-6"
SIDE INTERIOR (ALONG 3RD STREET):	0'	8'-3"
SIDE INTERIOR (ALONG 2ND STREET):	-	16'-5"
REAR (ALONG NORTH PROPERTY LINE):	0'	9'-0"
MAXIMUM BUILDING HEIGHT:	REQUIRED	PROVIDED
	45'-0"***	64'-4" (TOP OF STAIR)

*Structures with heights 20' and over shall set back upper portions of the structure a minimum of 10' from side property lines for each additional story above two.
 ** 45' (excluding roof design) permitted with design review



GRANT & 3RD
Novato, CA



Conceptual Site Plan

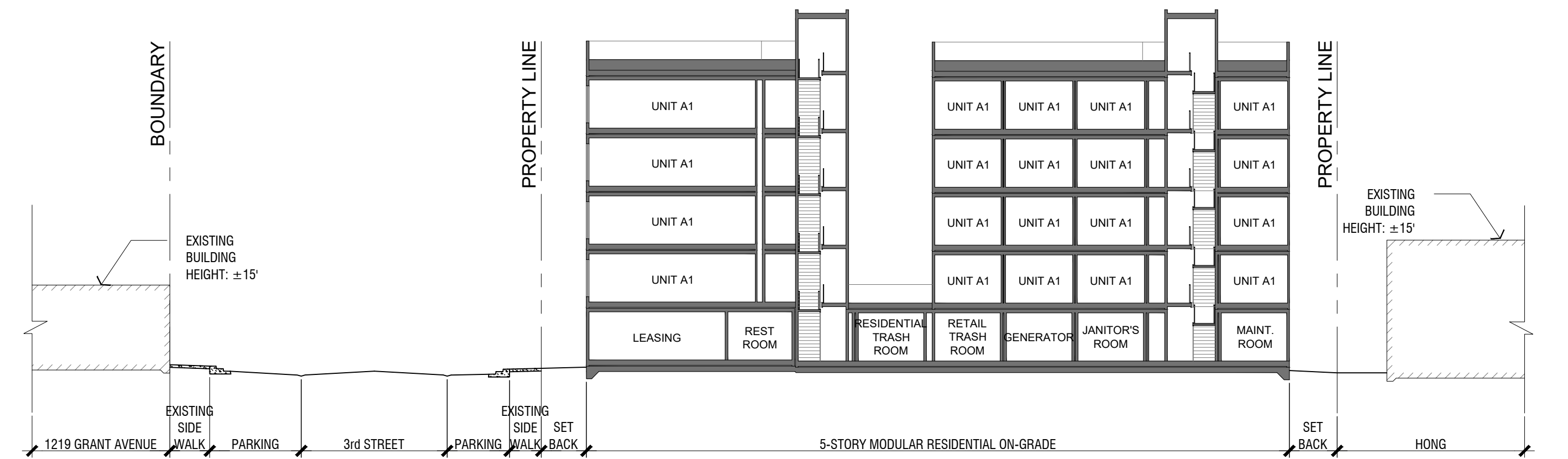


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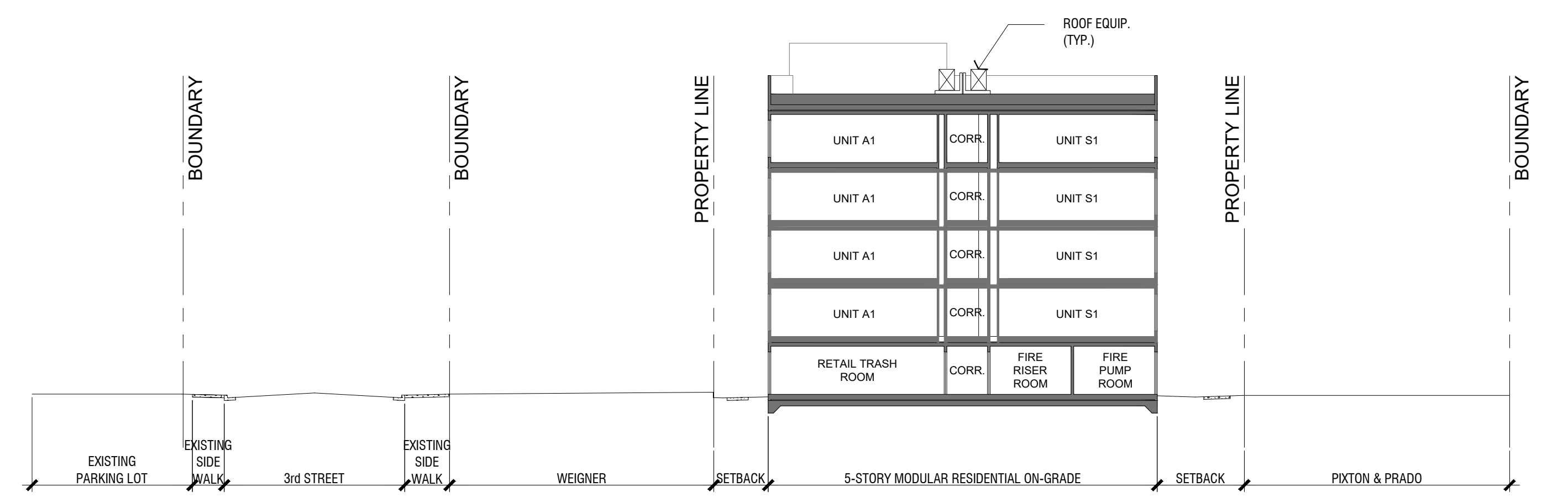
Scale 1" = 20'
Job No. 2020-0296
Date 03-15-2024

GENERAL NOTES

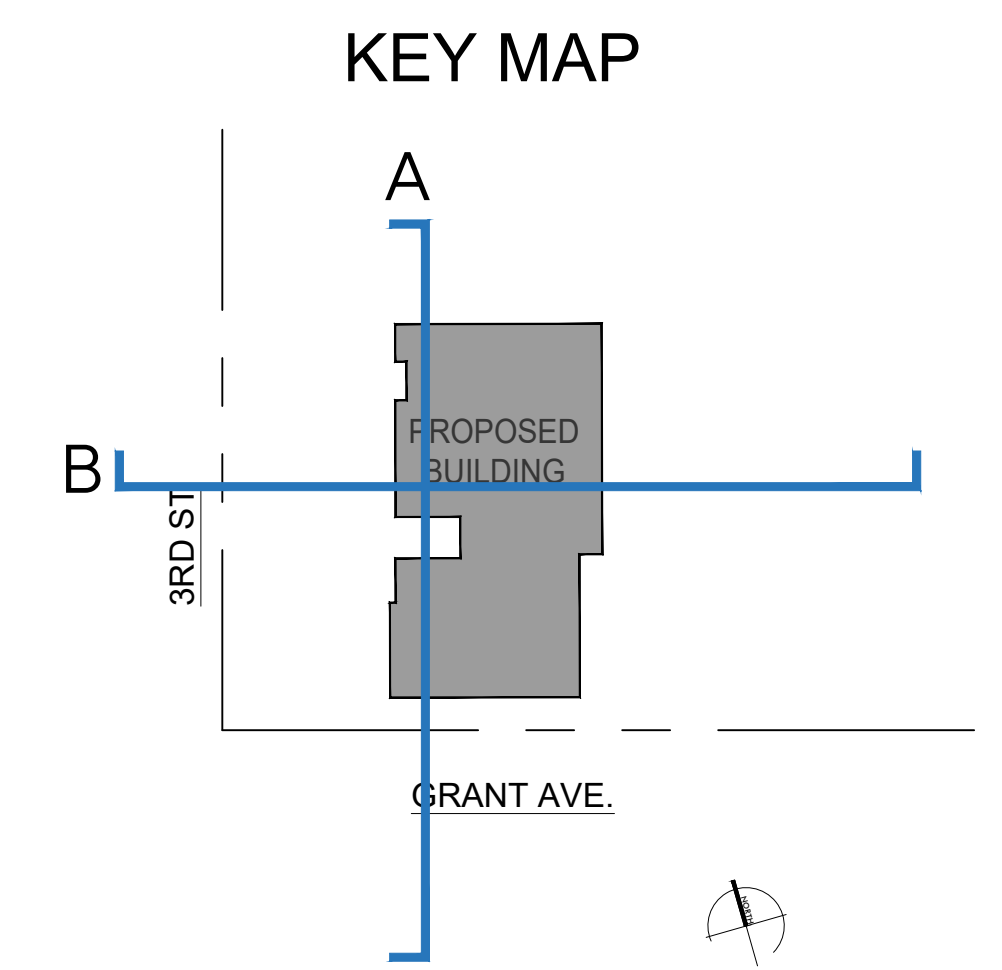
* NEIGHBORING BUILDING HEIGHTS ARE APPROXIMATE AND BASED ON GOOGLE EARTH DATA



SECTION A



SECTION B



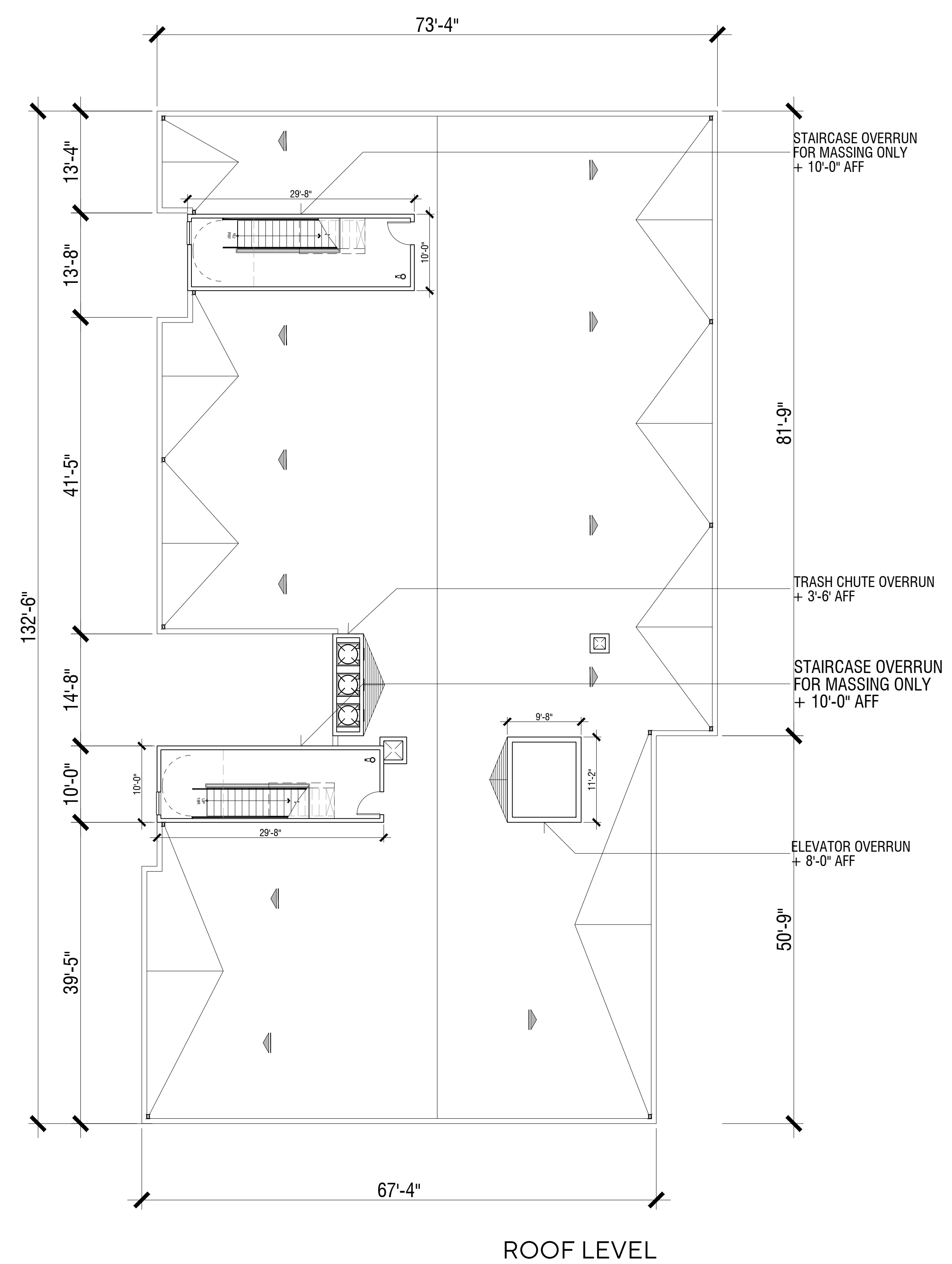
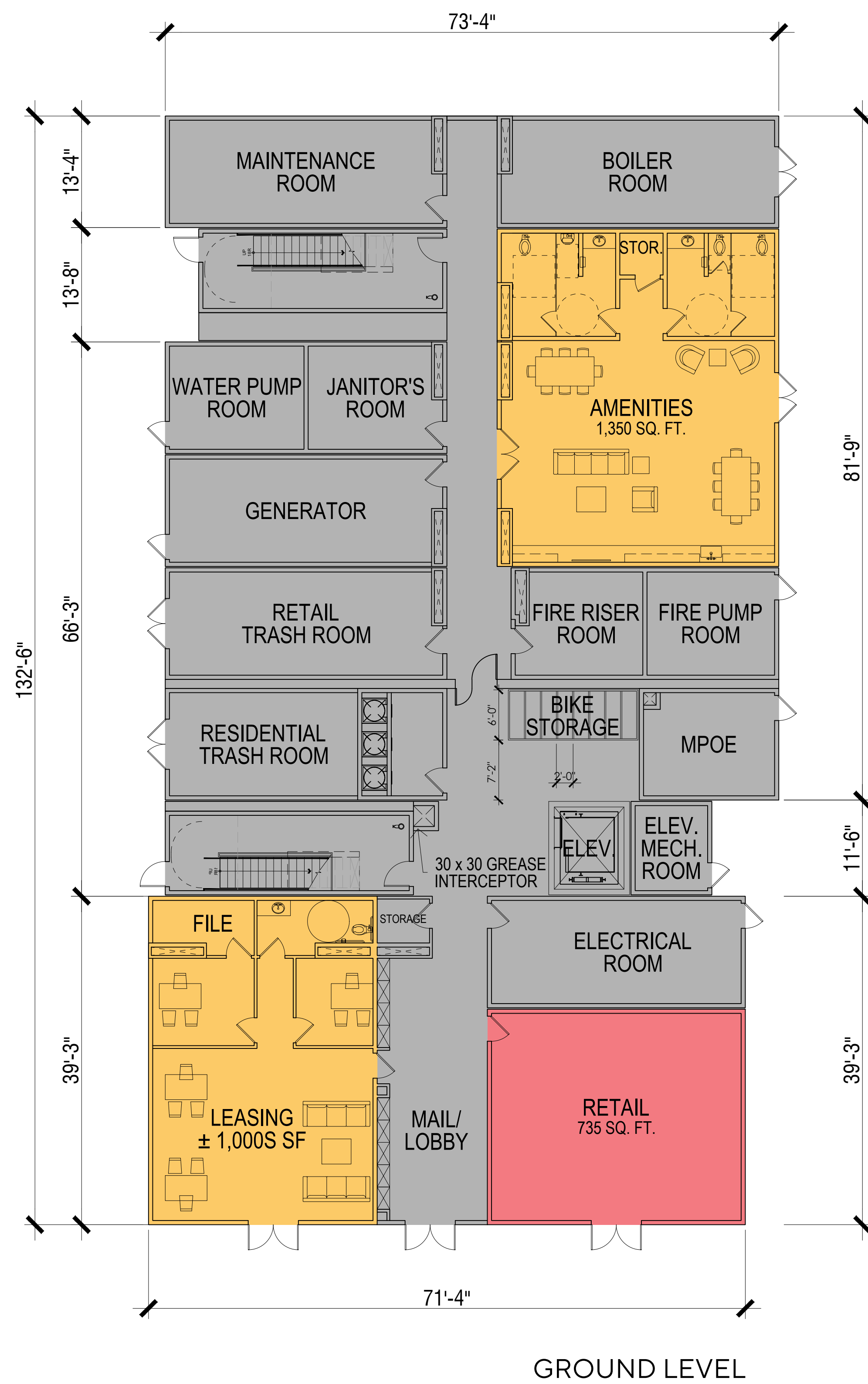
GRANT & 3RD
Novato, CA

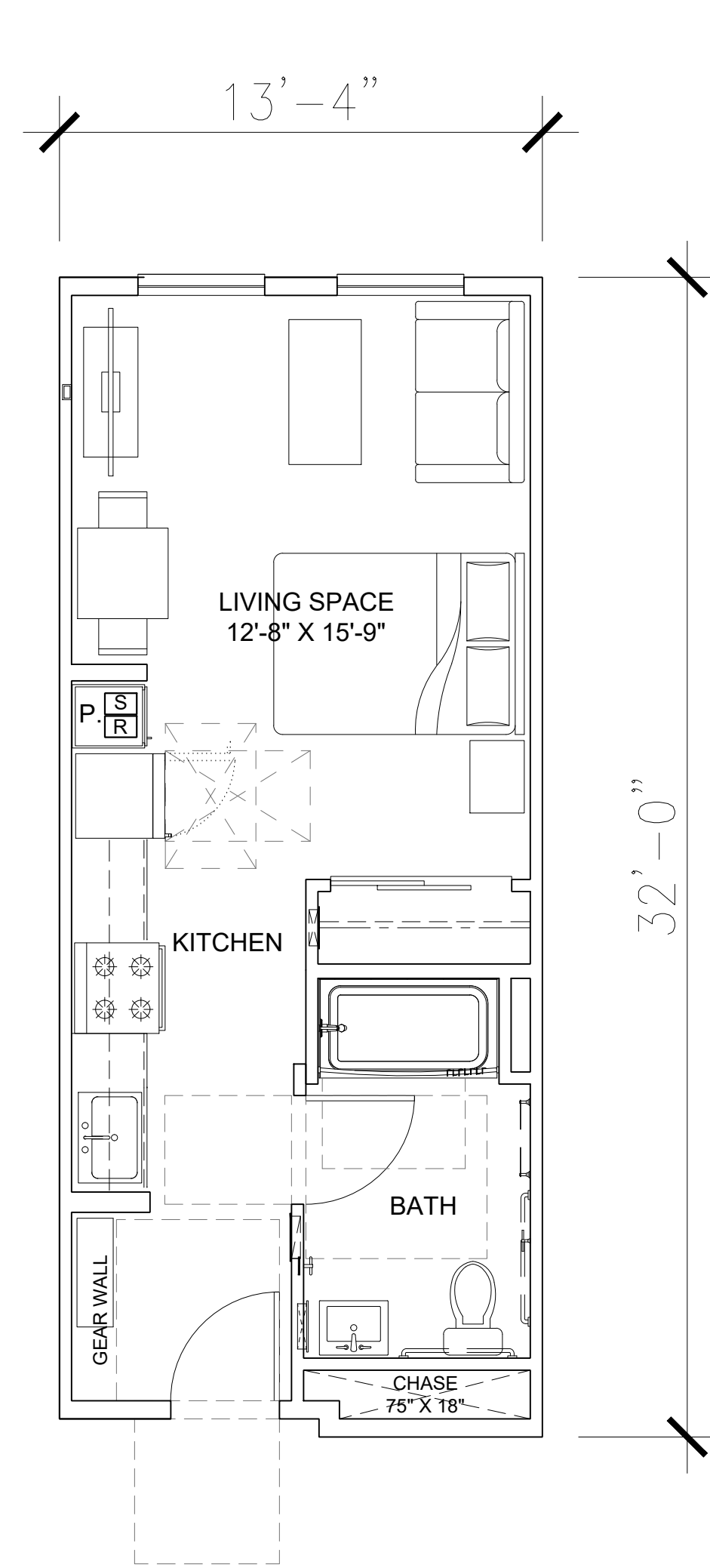
Conceptual Site Sections



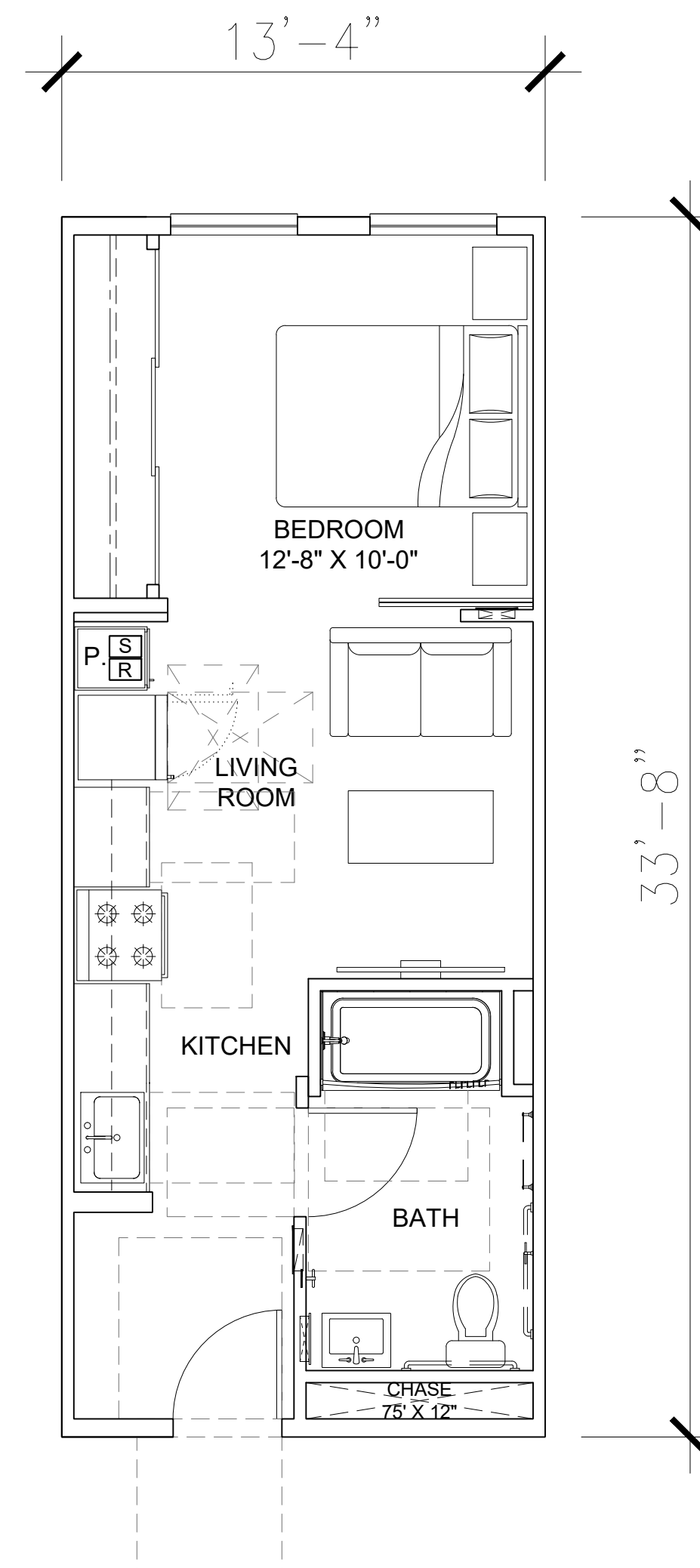
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Date 03-15-2024

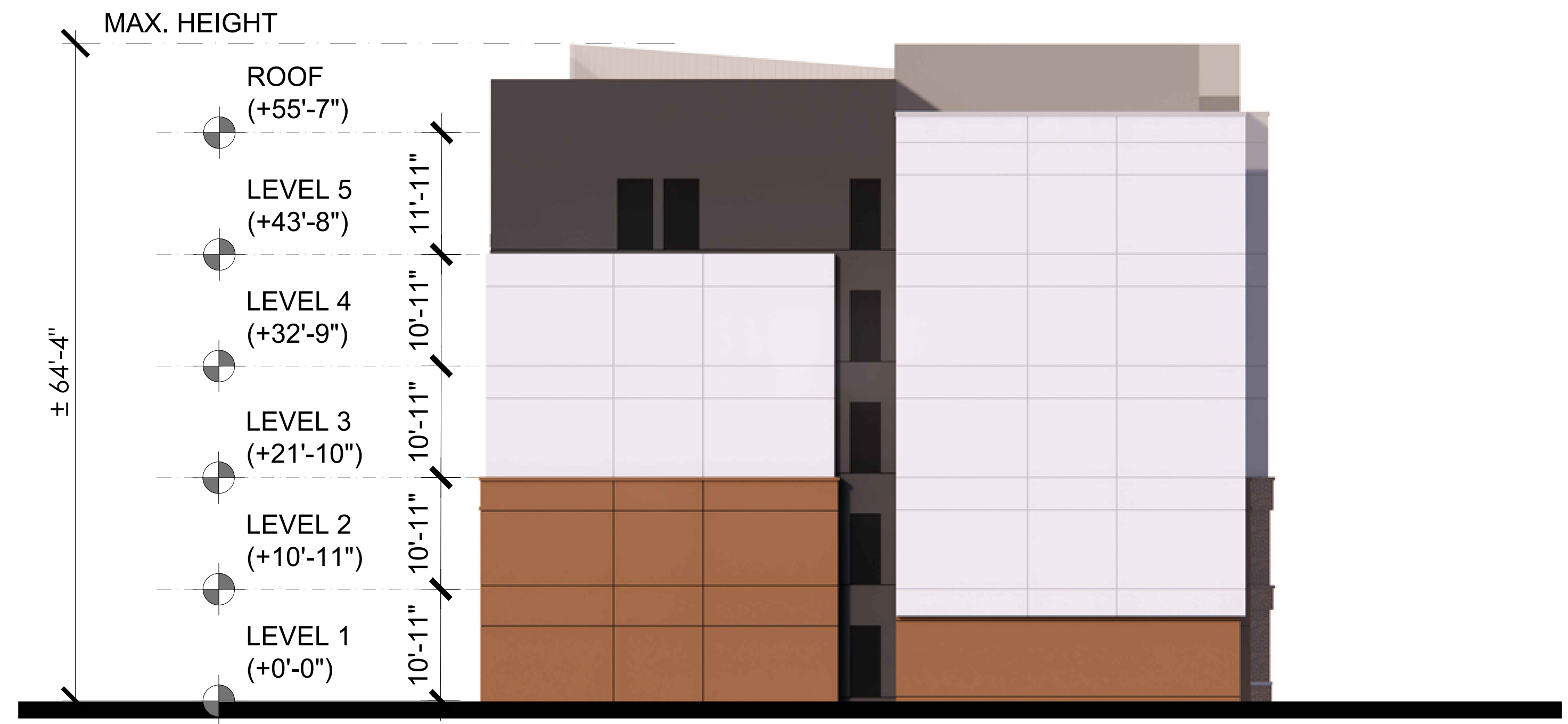




UNIT S1
 STUDIO - 1 BATH
 UNIT AREA: 411 SQ. FT.



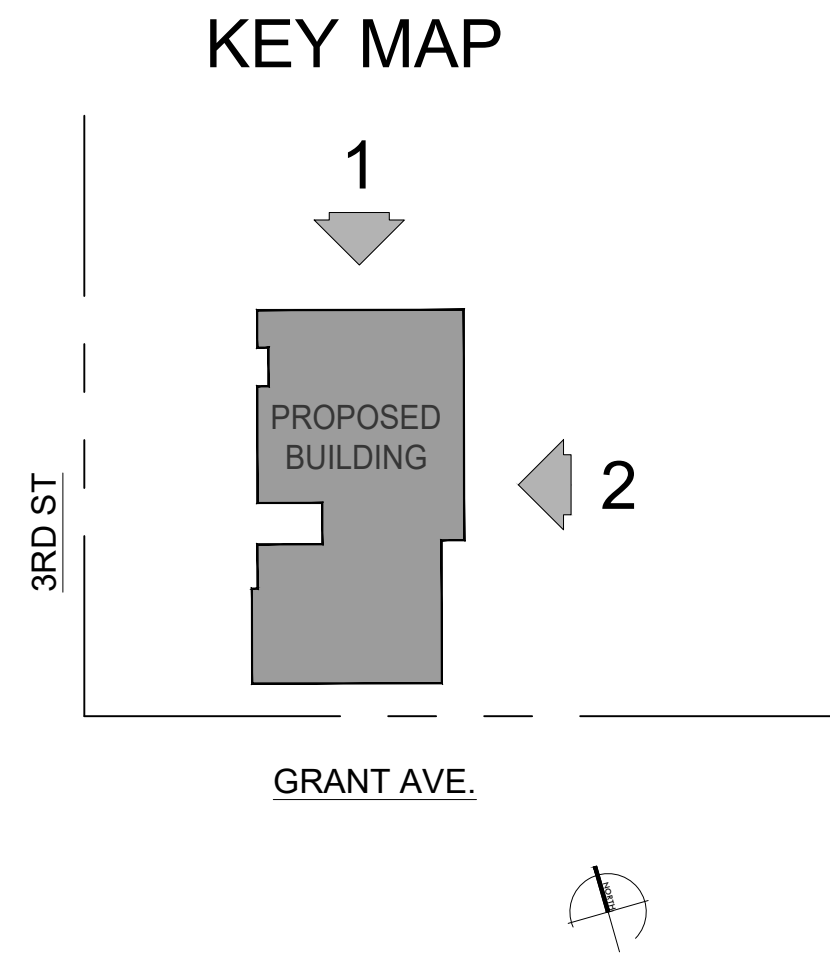
UNIT A1
 1 BED - 1 BATH
 UNIT AREA: 450 SQ. FT.



SOUTH ELEVATION 1



WEST ELEVATION 2

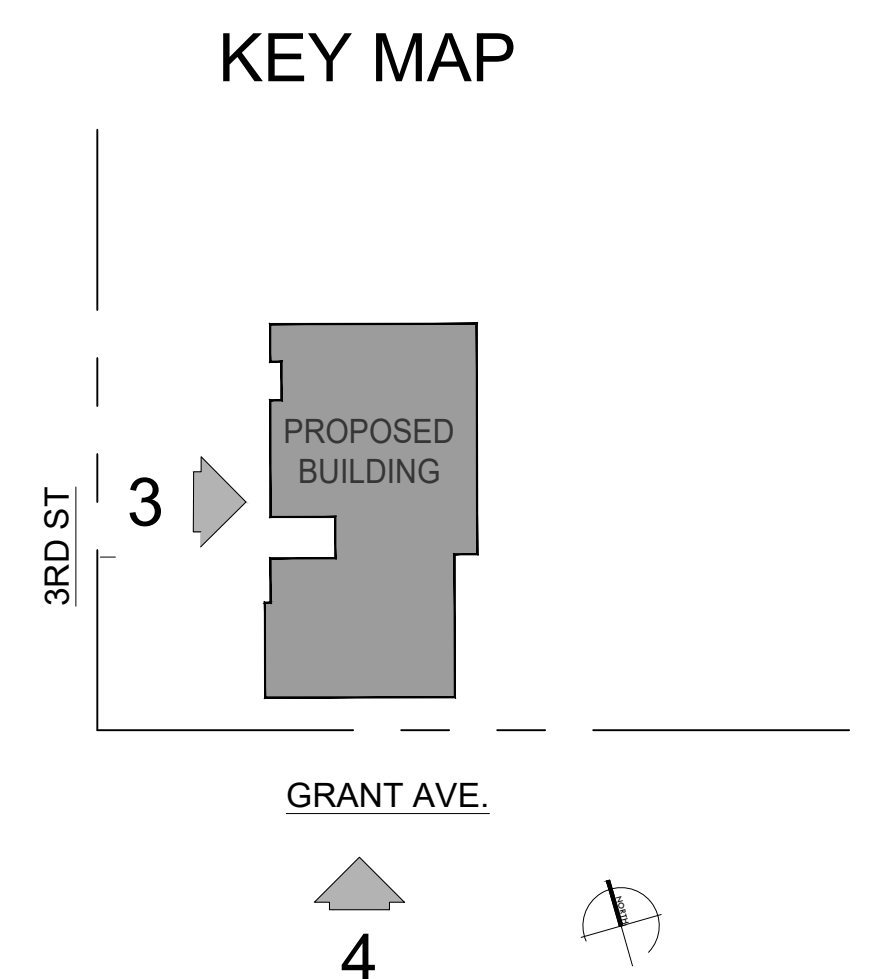




EAST ELEVATION 4



NORTH ELEVATION 4





VIEW FROM CORNER OF GRANT AND SECOND STREET 1



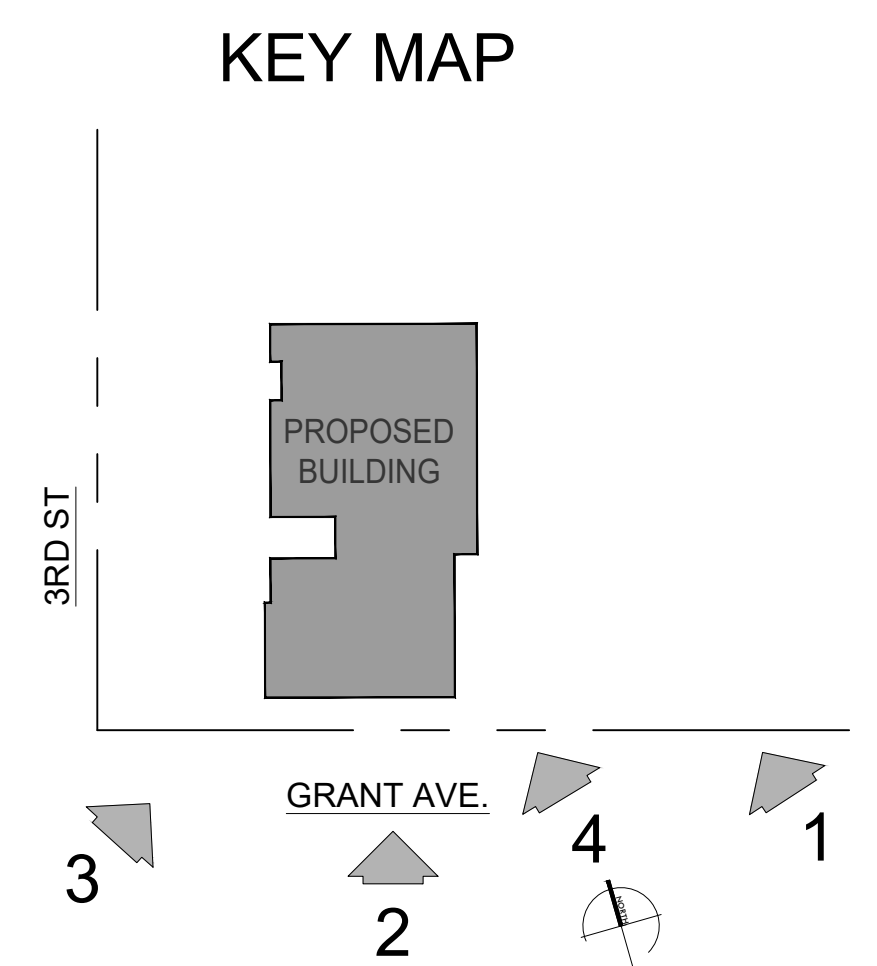
SOUTH ELEVATION VIEW FROM GRANT STREET 2



VIEW ON GRANT STREET LOOKING NORTH - EAST 3



VIEW ON GRANT STREET LOOKING NORTH - WEST 4





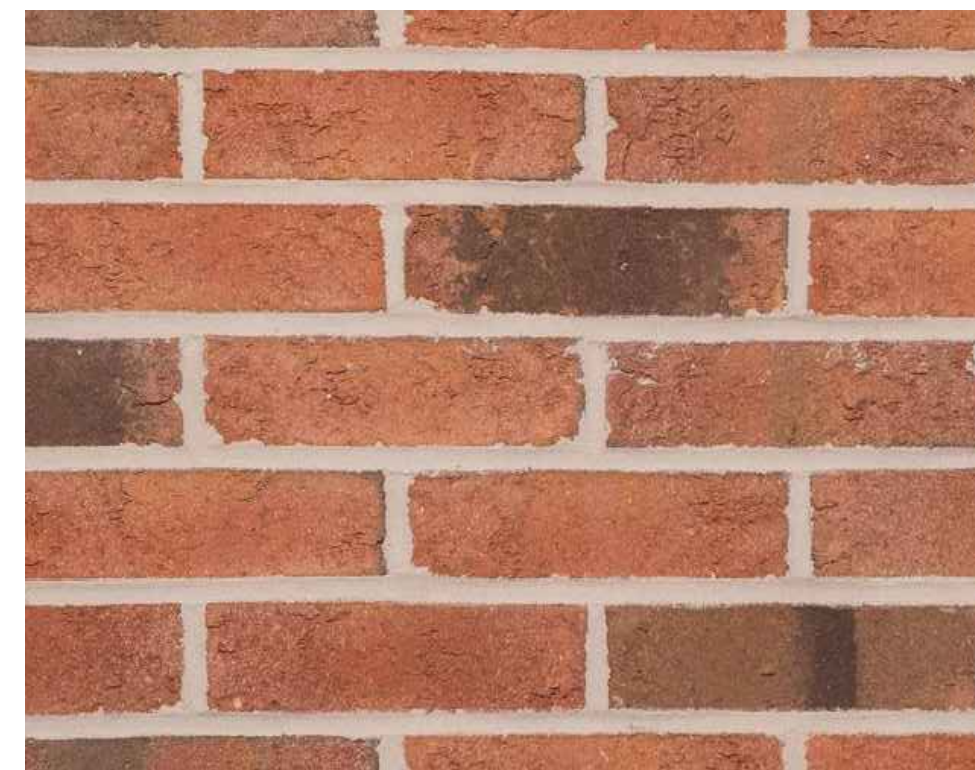
NORTH ELEVATION



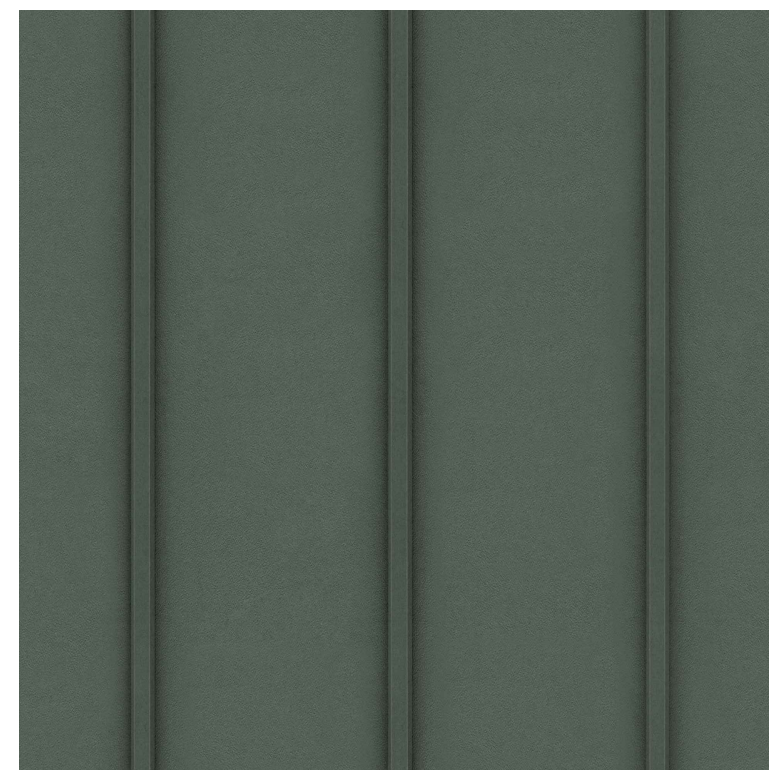
WEST ELEVATION



1. STUCCO
LIGHT SAND FINISH



2. BRICK SIDING
GENERAL SHALE - MONTICELLO



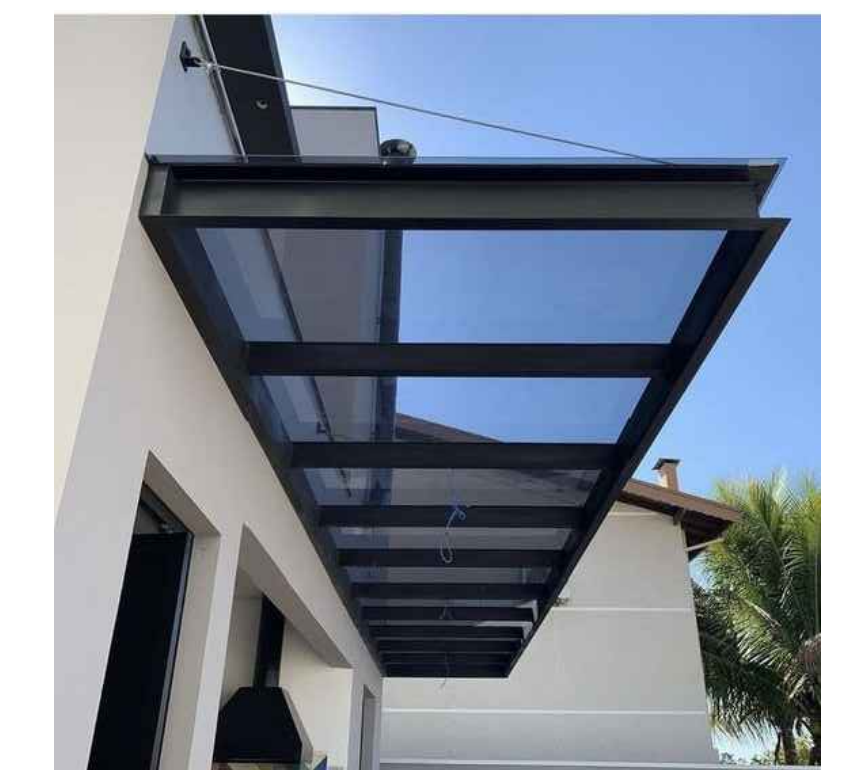
3. JAMES HARDIE -
FIBER CEMENT VERTICAL
SIDING (PAINTED TO
MATCH PAINT SPEC B)



4. VINYL WINDOWS
BLACK OR EQUAL



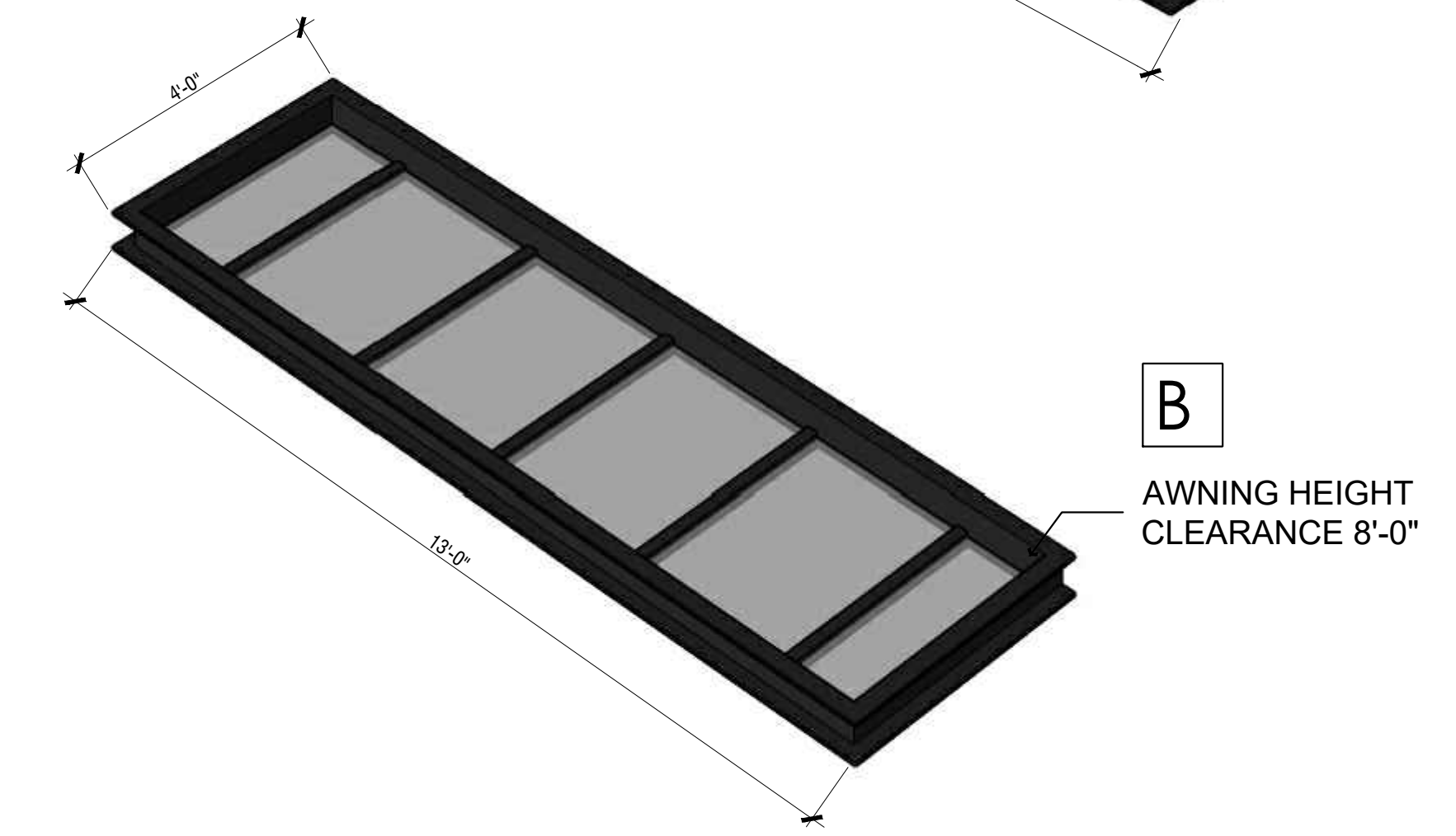
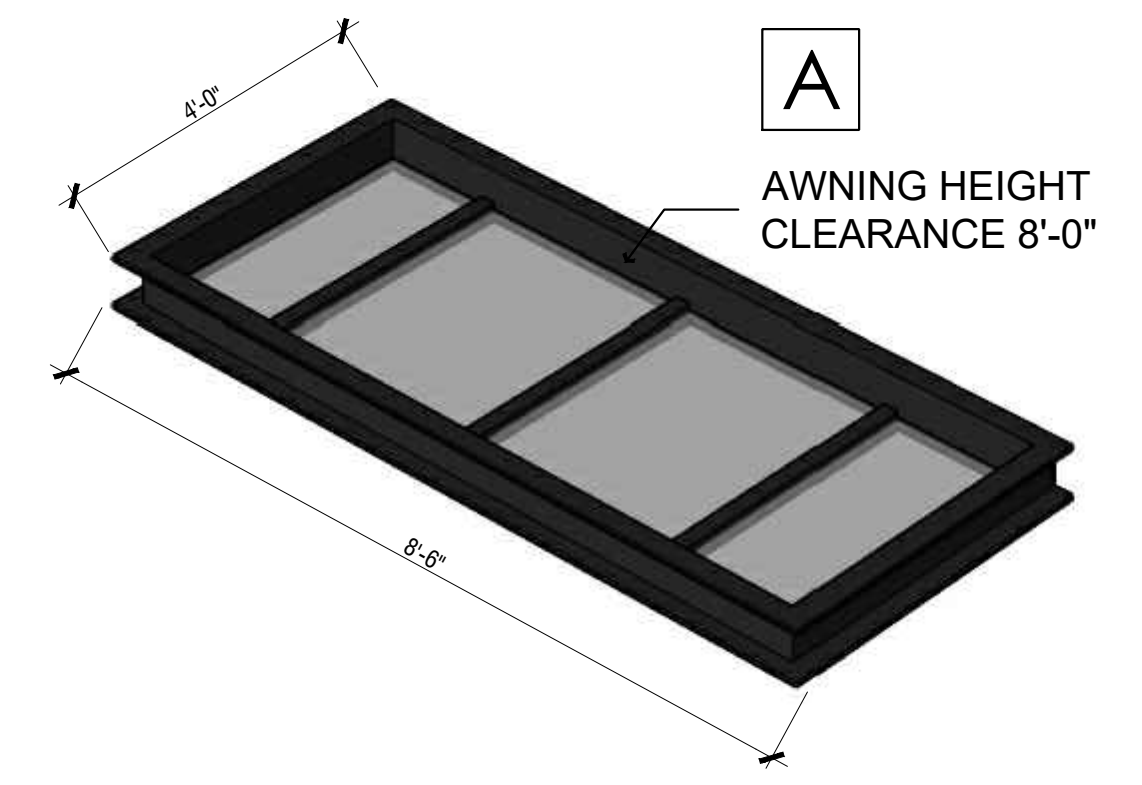
5. ALUMINUM STOREFRONT
WINDOW
BLACK OR EQUAL



6. METAL AWNING
BLACK OR EQUAL

GENERAL NOTES

THE USE OF AWNINGS SHALL ALLOW FOR INDIVIDUAL EXPRESSION OF EACH BUSINESS WITH COMPATIBLE VARIATION IN COLOR AND GRAPHICS, COMPATIBLE WITH THE DOWNTOWN STYLE GUIDELINES.





PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	MATURE HEIGHT	MATURE WIDTH
SHRUBS							
	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	5 GAL	25	LOW	15 - 25FT. HT.	1 - 3FT. W.
	MAHONIA REPENS	CREEPING OREGON GRAPE	1 GAL	30	LOW	3 - 6FT. HT.	3 - 6FT. W.
	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	5 GAL	29	LOW	3 - 6FT. HT.	1 - 3FT. W.
	PITOSPORUM TENUIFOLIUM 'WRINKLED BLUE'	WRINKLED BLUE TAWHIHI	15 GAL	1	MEDIUM	10 - 15FT. HT.	3 - 6FT. W.
GRASSES							
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	1	LOW	3 - 6FT. HT.	1 - 3FT. W.
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL	3	VERY LOW	6 - 18IN. HT.	1 - 3FT. W.
	MUHLENBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	5 GAL	1	LOW	3 - 6FT. HT.	3 - 6FT. W.
PERENNIALS							
	ASPIDISTRA ELATIOR	CAST IRON PLANT	5 GAL	21	LOW	18 - 36IN. HT.	1 - 3FT. W.
	DIETES IRIDIODES	FORTNIGHT LILY	5 GAL	1	LOW	18 - 6' HT.	1 - 3FT. W.
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	3	MEDIUM	18 - 36IN. HT.	1 - 3FT. W.
	SALVIA GREGGII 'RED'	AUTUMN SAGE	5 GAL	1	LOW	18 - 36IN. HT.	3FT. W.
	TULBAGHIA VIOLACEA 'TRICOLOR'	TRICOLOR SOCIETY GARLIC	1 GAL	5	LOW	6 - ' HT.	1 - 3FT. W.
STORM WATER MANAGEMENT PLANTINGS							
	ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW	1 GAL	14	LOW	6 - 18IN. HT.	1 - 3FT. W.
	CAREX BARBERAE	SANTA BARBARA SEDGE	1 GAL	119	LOW	18 - 36IN. HT.	1 - 3FT. W.
VINES							
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	26	MEDIUM	< - F' HT.	3 - 6FT. W.
MATERIALS							
	3/4 CRUSHED ROCK SONOMA GOLD OR EQUAL	2" DEPTH OVER LANDSCAPE FABRIC	1 GAL	418 SF			

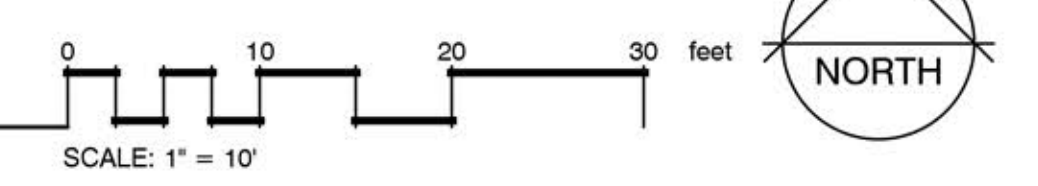
PF: WUCOLS IV SPECIES EVALUATION LIST, V.2014
 WUCOLS REGION 1 NORTH CENTRAL COASTAL SUNSET ZONE 11

PLANT SCHEDULE NOTES:
 CONTRACTOR TO VERIFY ALL QUANTITIES FROM PLAN. PLANT LEGEND IS FOR REFERENCE ONLY.
 NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

- PLANTING NOTES:**
- PLACE 2" DEPTH 3/4" 'SONOMA GOLD' CRUSHED ROCK OVER LANDSCAPE FABRIC UNDER STAIRWAYS AND UTILITY ACCESS AREAS. INSTALL 'PERMALOC CLEAN LINE' 1/2" X 4" ALUMINUM EDGING WITH MILL FINISH (MF), BETWEEN CRUSHED ROCK AND ADJACENT SHRUB BED.
 - PLACE 2-3" SIZE RIVER WASHED COBBLE OVER LANDSCAPE FABRIC WHERE INDICATED.
 - INSTALL 'PERMALOC CLEAN LINE' 1/2" X 4" ALUMINUM EDGING WITH MILL FINISH (MF), BETWEEN ROCK, LAWN AND ADJACENT SHRUB BEDS. STAKE AT EVERY PREFORMED LOOPS WITH 12" STAKES SUPPLIED FROM MANUFACTURER WITH PRODUCT.
 - PLACE A 12" WIDE BAND OF 2-3" SIZE COBBLE OVER LANDSCAPE FABRIC AROUND THE PERIMETER OF BIO-RETENTION AREAS AND VEGETATED SWALES TO INTERCEPT DEBRIS PRIOR TO ENTERING INTO THE FILTRATION AREA. NO EDGING REQUIRED.
 - SOIL PREPARATION AND AMENDING:
 - AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.
 - BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.
 - NITROGEN STABILIZED AND IRON FORTIFIED COMPOST: PER SOIL ANALYSIS RECOMMENDATIONS, OR 4 CY FOR BID PURPOSES
 - PELLETIZED FERTILIZER (21-0-0): 10 LBS, OR AS PER SOIL ANALYSIS RECOMMENDATIONS
 - SOL SULFUR: PER SOIL ANALYSIS RECOMMENDATIONS
 - GYPSSUM: 100 LBS
 - CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL.
 - DE-ROCK AREA TO BE PLANTED BY USING A MECHANICAL ROCK PICKER. ALL ROCKS LARGER THAN 1 INCH IN DIAMETER ARE TO BE REMOVED.
 - INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS, MANUFACTURED OF POLYPROPYLENE, 28 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD. DEWITT PRO-5, OR EQUAL SECURE FABRIC SEGMENTS, TO SOIL, WITH 6"x1"x6" STEEL U SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.
 - INSTALL 3" DEPTH FIR BARK MULCH OVER THE FILTER FABRIC ON ALL SHRUBS AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM FINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.

- PLAN NOTES:**
- NEW 6' WOOD FENCE
 - EXISTING BUILDING
 - EXISTING FENCE TO REMAIN
 - 6" CONCRETE CURB
 - CONCRETE WALK WAY
 - STORM WATER TREATMENT AREA, REFER TO THE CIVIL ENG. PLANS
 - ACCENT PAVING AT OUTDOOR PATIO, WITH BISTRO TABLE AND BENCH
 - EXISTING STREET TREE TO REMAIN
 - SCREEN UTILITIES WITH PLANT MATERIAL WHERE ABLE

LANDSCAPE PLAN

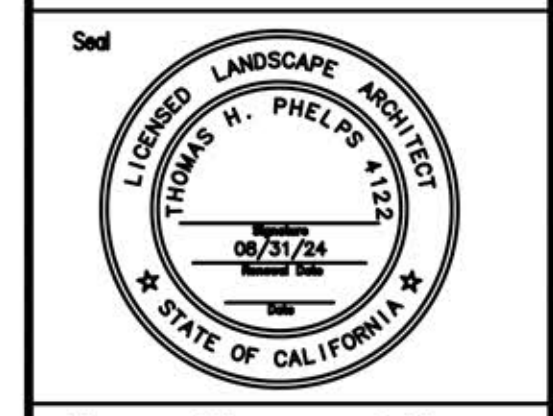


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 California Landscape Architect #4122
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GRANT AVE AT 3RD STREET
AMG & ASSOCIATES
 GRANT AVE. AT THIRD STREET
 NOVATO, CALIFORNIA

Sheet Title
LANDSCAPE PLAN



No.	Date	Revision
▲		
▲		
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Project Mgr: THP Sheet No.:
 Drawn By: THP
 Scale: 1"=10'
 Date: 15 MAR 2024
 File Name: 21-025 of _____ sheets