

Valley Oaks

Objective Standards

Novato, California

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Prepared For:



Prepared By:

ARCHITECTS . PLANNERS . DESIGNERS



ORANGE COUNTY . LOS ANGELES . BAY AREA . SACRAMENTO

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INTRODUCTION

1.1 PURPOSE AND INTENT

This document contains two sets of Standards, the Site Development Objective Standards (SDOS) and the Architectural Objective Standards (AOS). Both sets of Standards provide information pertaining to the development of Valley Oaks North and Valley Oaks South.

The Site Development Objective Standards (SDOS) are those standards shown on the approved Precise Plan site plan, the Vesting Tentative Map, and Tables 1-1 and 1-2 and Figures 1-1 through 1-6 of this document, otherwise as shown in the Novato Municipal Code. These Standards provide minimum standards for the development of the Project and add site planning certainty.

The purpose of Architectural Objective Standards (AOS) is to provide the public, project sponsors, building and design professionals, and Review Authorities with clear objective design standards for Valley Oaks. The intent is to add certainty in the architectural design

process by providing acceptable standards for a range of alternative architectural styles that enhances the project's unique character and sense of place, respects existing neighborhood compatibility and privacy, and ensures a high-quality living environment.

The AOS address particular architectural styles. These AOS pertain to buildings, not site planning, zoning or building codes. These Standards focus on features characteristically found in the chosen styles. As noted in the individual style descriptions, not every design element is required. Instead, the Menus of Features provide direction on design elements that can be used to successfully execute a specific style.

If a design feature is introduced by an applicant that is not included in the provided Menus of Features, it is still acceptable as long as the feature is complimentary to the overall building architecture and authentic to the style.

1.2 PROJECT DESCRIPTION

The Property is located on Redwood Boulevard north of the San Marin /Atherton freeway exit in a bowl below the Buck Institute. It is a total of +/- 37.6 acres of which just half will be developed. The remainder will be designated Open Space and will remain permanent open space for the benefit of the Valley Oaks Community.

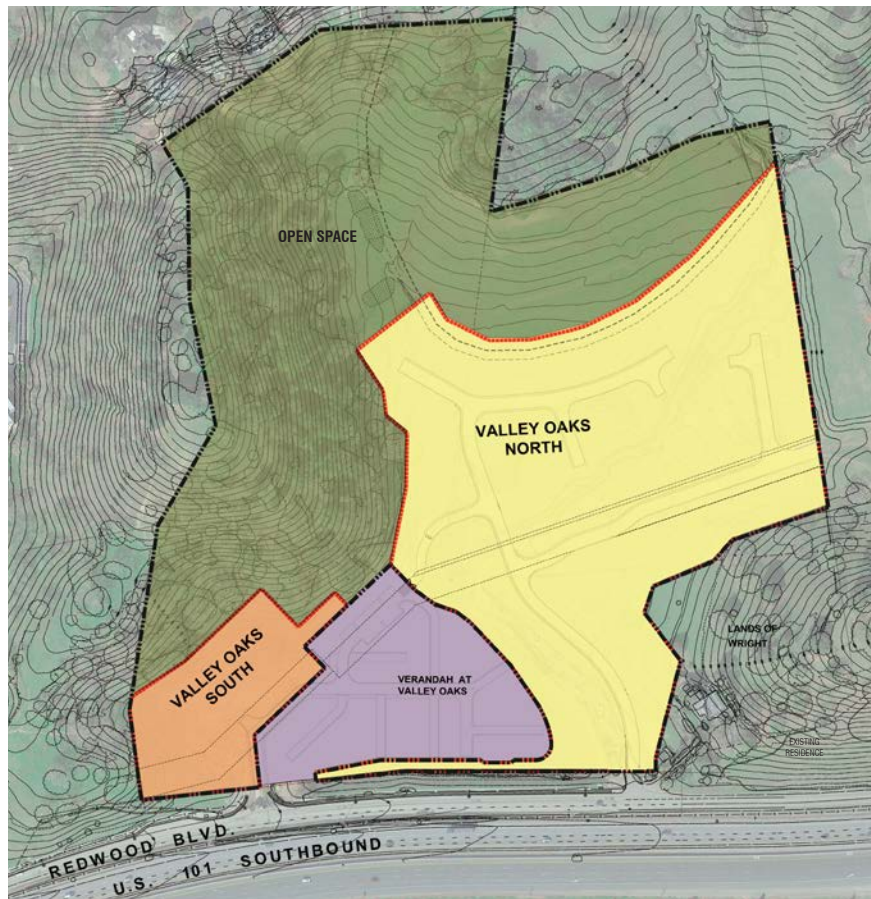


Figure 1-1: Development Area Plan (North and South)



Figure 1-2: Precise Plan (North and South)

Valley Oaks South will comprise of 20 townhomes immediately to the south of Verandah, each with direct access 2-car garages and some may have private roof decks. Guest parking is provided within the site design.

Valley Oaks North will comprise of 61 single-family detached homes and duets. Each home will have a direct access 2-car garage and private yard space. 45 of these homes will have Junior Accessory Dwelling Units (JADUs) on the ground floor, which if rented, would be restricted to very-low income households.

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SITE DEVELOPMENT OBJECTIVE STANDARDS

1.3 SITE DEVELOPMENT OBJECTIVE STANDARDS (SDOS)

The Site Development Objective Standards for Valley Oaks shall be those standards shown on the approved Precise Plan site plan, the Vesting Tentative Map, and Tables 1-1 and 1-2 and Figures 1-1 through 1-6 of this document, otherwise as shown in the Novato Municipal Code. In the case of any conflict, the Approved Vesting Tentative Map shall prevail.

Please refer to Tables 1-1 and 1-2 for Development Standards in addition to Figures 1-3 and 1-4 which illustrate setbacks per building type. Figure 1-5 exhibits a section taken between two of the buildings in Valley Oaks South.

Table 1-1: Site Development Standards*

	Valley Oaks North		Valley Oaks South
	Single Family Detached	Duets	Multi-Family
Density			
Dwelling Units per Acre	5.1 to 10.0	5.1 to 10.0	20.1 to 30
Min. Lot Size- Area	3,000 sf.	2,000 sf.	8,000 sf.
Maximum No. Dwellings	1 unit per 3,000 sf. of lot area	1 unit per 2,000 sf. of lot area	1 unit per 8,000 sf. of lot area
Min. Lot Depth	75'	75'	50'
Min. Lot Width	45'	30'	100'
Setbacks			
Front [4]	8' to a Roofed Porch 10' to Living Space 19' to Garage	8' to a Roofed Porch 10' to Living Space 19' to Garage	Minimum setback of 3' from edge of vehicle drive aisle to roofed porches, living spaces, and garages [5].
Side, Each [4]	4'	4'	4' / 8' Building Separation
Street Side [4]	8' 19' if garage	8' 19' if garage	8'
Rear [4]	10' [1]	10' [1]	Minimum setback of 3' from edge of vehicle drive aisle to roofed porches, living spaces, and garages [5].
Building to Building Separation (in private drive)	-	-	26'
Building Coverage [2]	55%	55%	60%
Height Limit [3]	35'	35'	45'
Parking			
Parking	2 Spaces per Unit	2 Spaces per Unit	2 Spaces per Unit; Guest 1 Space per each 3 Units
<p>Notes:</p> <p>[1] When a residential lot has no rear property line or a rear property line with an angle that deviates more than 15 degrees from a 90 degree angle, a 5-foot setback from the rear property line (or the side property line in the case of a triangular lot) is allowed for a building element if the building element does not occupy more than 35 percent of the required rear yard setback area. A one-story building element is allowed when the rear-yard abuts another residential lot. A two-story building element is allowed (i) in the case of a triangular lot with no rear property line, and (ii) when the rear-yard does not abut another residential lot.</p> <p>[2] Maximum percentage of site / lot area that may be covered by structures.</p> <p>[3] Maximum allowed height of structures.</p> <p>[4] Allowed projections Per City's Municipal Code.</p> <p>* Hillside Standards are not applicable since Development Areas do not exceed 10% slope.</p>			<p>[5] 6' (min) separation building elevation to pedestrian access areas (sidewalks and other paths) if any located in common open space areas.</p>

Site Development Objective Standards

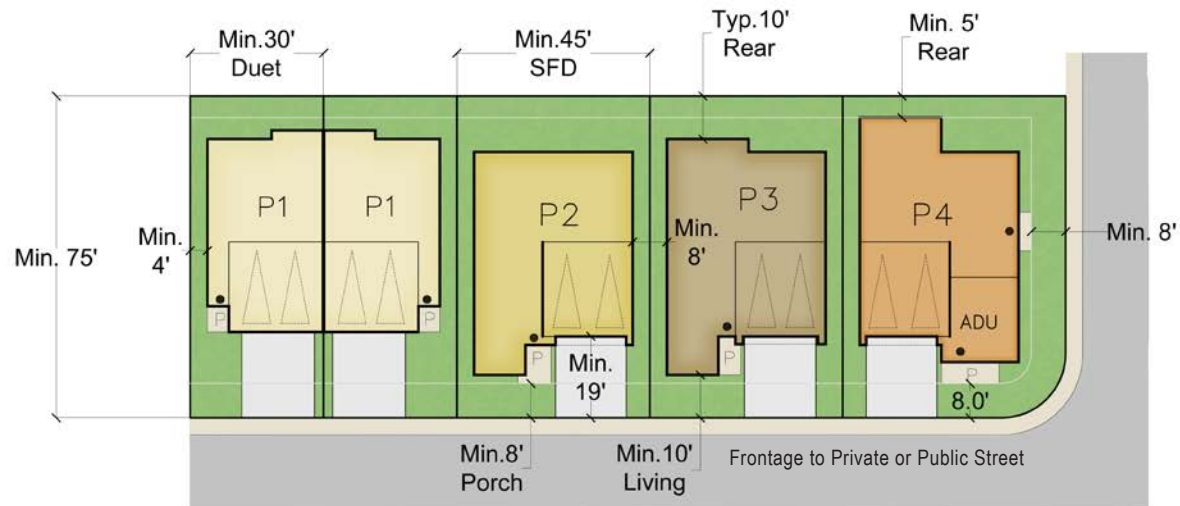


Figure 1-3: Single Family Detached / Duet Plotting Diagram



Figure 1-4: Townhome Plotting Diagram

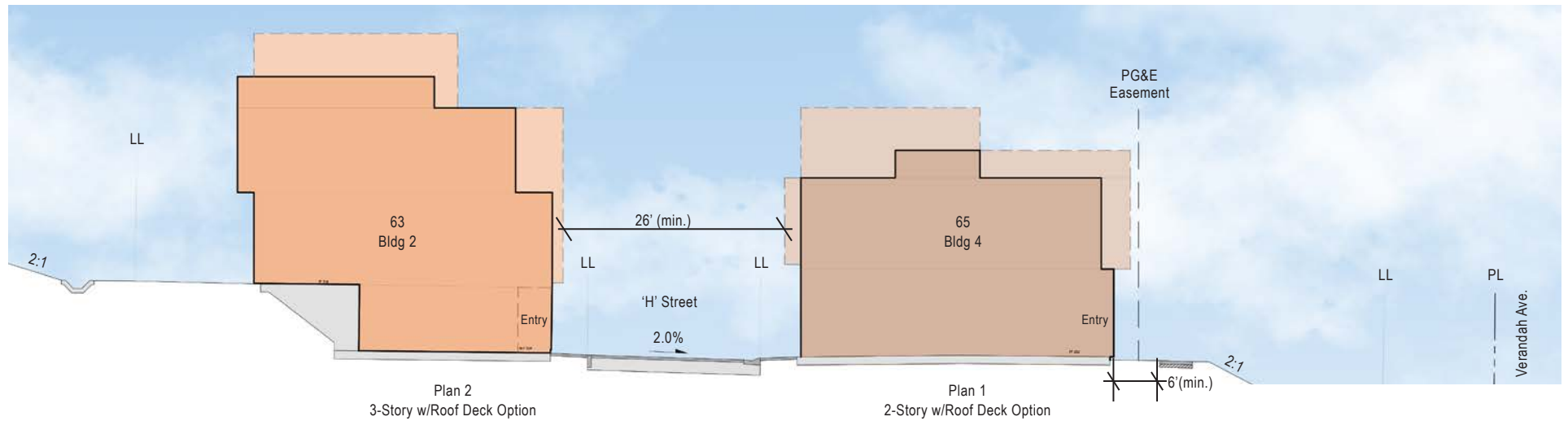


Figure 1-5: Valley Oaks South Section Diagram

Site Development Objective Standards

Table 1-2: Landscape Standards (Applies to both Valley Oaks North and Valley Oaks South)	
Element	Requirement
Applicability	All landscaped areas (excludes open space areas, fuel break area and wetlands including setbacks).
Irrigation	All landscaped areas
Phasing	Landscaping may be phased
Trees	Not permitted within the PG & E easement areas
Number of Trees – Street Setback	1 per 200 sf. of landscaped areas within street setback
Number of Trees – Outside Street Setback	1 per 600 sf. of landscape area
Street Trees	1 per 40' of length of right-of-way
Artificial or synthetic ground cover/ shrubs	Not permitted except in Central Community Space, Mixed Use Areas and Multi-Age Play Areas
Turf	Not permitted in front yards
Lot Fencing	Per Approved Precise Plan
Unit Fencing	Per Approved Precise Plan
Trees & Protection Standards	
Trees adjacent to riparian areas, wetlands	Native trees only to be protected and preserved unless impacting slope stability
Mitigation Ratio	3:1 native trees only
Wetland Protection & Mitigation	
On-Site Mitigation Ratio	1:1
Off-Site Mitigation Ratio	1:1
Wetland Buffer (Minimum)	0
Waters Buffer (Minimum)	25'

Table 1-2: Landscape Standards (Applies to both Valley Oaks North and Valley Oaks South)	
Element	Requirement
Engineering	
Sidewalk – Limited Residential Street	One side only
Sidewalk – Minor Residential Street	None
Sidewalk – Residential Street	One side only
Limited Residential Street Right-of-Way	24'
Minor Residential Street Paved Width Curb-to-Curb (Minimum)	24' except for Multi Family (20')
Minor Residential Street Right-of -Way (Minimum)	28' except for Multi Family (21')
Residential Street Paved Width Curb-to-Curb (Minimum)	24'
Residential Street Right-of-Way (Minimum)	30'
Emergency Vehicle Access Street	Refer to VTM

1.4 ARCHITECTURAL STYLE MIX

Valley Oaks North should be designed for compatibility within itself, using a blend of architectural styles and a balanced palette of colors and materials. Although visual character is encouraged from one house to the next, architectural designs shall avoid clashing in order to achieve harmony.

Different plans are defined as those with variation in either floor plans, massing, or bedroom count. In order to ensure architectural diversity, the following is encouraged:

- Like elevations cannot be plotted adjacent to or immediately across the street from one another.
- The plan and elevation style on the two adjacent homes and on the one lot most directly across from it shall be different.
- The color scheme on the two adjacent homes and on the three lots most directly across from it shall be different.

Refer to Figure 1-6 and 1-7 for examples illustrating visual diversity.

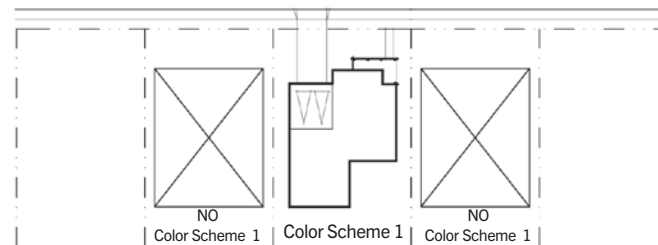
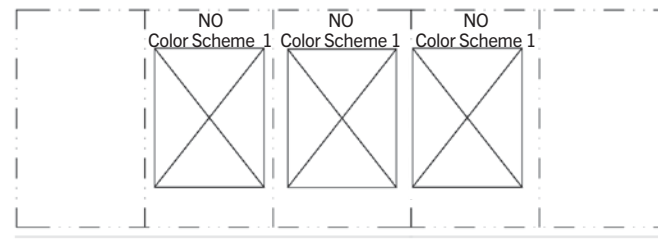
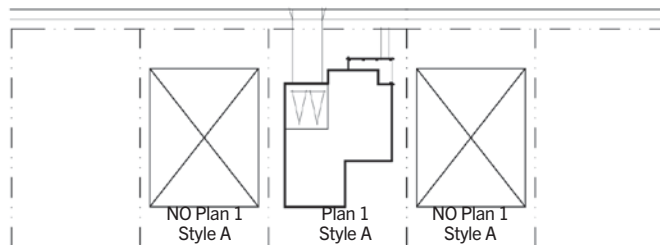


Figure 1-6: Plan and Elevation Diversity Diagram (SFD)

Figure 1-7: Color Scheme Diversity Diagram (SFD)

Criteria (minimums):

Single Family Detached:

- 3 floorplans
- 3 elevation styles
- 2 color schemes per elevation

Duets:

- 1 floorplan
- 3 elevation styles
- 2 color schemes per elevation

Townhomes:

- 2 floorplans
- 1 elevation style
- 1 color scheme per elevation



ARCHITECTURAL OBJECTIVE STANDARDS

1.5 ARCHITECTURAL OBJECTIVE STANDARDS (AOS)

Massing, character and detailing of an architectural style should be expressive of and authentic to that style. Traditional architecture is based on recognizable, authentic and historically derived forms, materials and details that reasonably represent a particular style.

Adapted or progressive elevations focus on character-defining elements but allow for the integration of modern materials, colors, forms, details, and artistic interpretation to generate a more contemporary, yet recognizable, expression of a traditional architectural style.

The Architectural Objective Standards strive for authentic architecture that can be adapted to current design preferences and construction practices. The following pages contain Menus of Features for each style to provide architectural design inspiration and direction. The following architectural styles have been chosen for Valley Oaks:

- Contemporary
- Craftsman
- Farmhouse
- Mediterranean

Contemporary

(Applies to Valley Oaks South and Valley Oaks North)

The Contemporary style is often composed of simple, geometric forms with generous window areas, accented by materials and/or colors. Contemporary balcony railings and canopies may be an additional touch. Flat roofs are typical but pitched roofs may also be utilized. Details that enhance the building such as corners wrapped with glass or color blocking to articulate the massing can also contribute to the building's aesthetic. Although contemporary buildings can successfully boast an all-white stucco façade, other colors and architecture features such as siding, or panels can be used. Windows help articulate the form too and may be in horizontal or vertical compositions.

The following Menu of Features provides directions to implement the Contemporary style. Not all features need to be used. Purposeful design is key such as windows being placed in logical locations and roof forms that follow the footprint. Items that are not listed on the following menu but are provided in a plan set are acceptable if they are authentic to the Contemporary vernacular.



Contemporary Style Illustrative Architecture



Contemporary Menu of Features/Standards

(Not all features need to be included in every building.)	(Not all features need to be included in every building.)	(Not all features need to be included in every building.)
Roof Component (Primary Roof)	Entry (Primary and JADUs)	Exterior Materials
<p>Appropriate roof forms:</p> <ul style="list-style-type: none"> • Flat without parapet • Flat with parapet • Gable • Hip • Shed • Roof pitch: flat up to 12:12 	<p>Front Entry elements (1 per entry):</p> <ul style="list-style-type: none"> • Porch • Stoop • Roof canopy/awning 	<p>Appropriate exterior wall materials include (other materials may be proposed):</p> <ul style="list-style-type: none"> • Brick veneer • Stone veneer • Stucco • Horizontal or vertical siding • Poured in place concrete • Concrete block • Cementitious board • Ceramic tiles • Metal
<p>Break in roofline for roofs longer than 30': Variation may be accomplished by changing the roof height, offsets, direction of slope and/or projections.</p>	<p>Windows</p> <p>Appropriate window style:</p> <ul style="list-style-type: none"> • Windows with no grids 	<p>Appropriate railing materials:</p> <ul style="list-style-type: none"> • Metal railing with cables • Wood/composite railing • Glass panel railing
Roof Component (Accent Roof)	<p>Windows on all exterior sides of structures. Window sizes shall comply with CBC/CRC.</p>	<p>Building ornamentation</p> <ul style="list-style-type: none"> • Window awnings (shall not be on every window)
<p>Appropriate roof forms:</p> <ul style="list-style-type: none"> • Shed • Hip • Gable • Flat • Roof pitch: flat up to 12:12 	<p>Appropriate window frame material:</p> <ul style="list-style-type: none"> • Wood • Metal • Fiberglass • Vinyl • Composite 	Acceptable Roof Materials
Walls	Exterior Doors	<p>Appropriate types of roof materials include:</p> <ul style="list-style-type: none"> • Composition shingles • Clay or flat concrete tile roofs • Metal • Composite roofing materials made of recycled natural fiber and recycled plastic • Tar, gravel, composition, or elastomeric materials (concealed by a parapet/cornice)
<p>4-Sided Architecture [1]: Minimum 1 material, Maximum 3 materials, and/or color variation per elevation side.</p>	<p>Appropriate door styles:</p> <ul style="list-style-type: none"> • Solid • Door with horizontal panels • Door with glazing 	
<p>Wall articulation: offset of 18" (minimum) in depth to at least one story of a wall plane that exceeds 30' in linear length.</p>	<p>Exterior Trim</p> <p>Appropriate trim material (if being used):</p> <ul style="list-style-type: none"> • Wood/composite wood • Stucco • Metal 	
<p>Footnote [1]: 4-sided architectural details apply to façades facing directly toward public/private streets and/or open space. Façades located on interior lot, not visible to the public, may have significant less architectural detail.</p>	<p>Trim (if used): 2" width (nominal minimum) around windows and/or exterior doors.</p>	

Contemporary Architectural Features/Standards Examples



Contemporary Roof Styles



Wall Articulation



Entry Porch/Stoop



Windows without Grids



Window Frame Material Example: Metal



Door Design Example: With Glazing



Trim Example: No Trim Used

Craftsman

(Applies to Valley Oaks North)

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that design details received both tasteful and “artful” attention. The movement influenced numerous California architects such as Greene and Greene, and Bernard Maybeck.

The resulting Craftsman style responded with built-in elements and by treating elements such as windows or ceilings as if they were furniture. The style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall effect was the creation of a natural, warm and livable home.

The following Menu of Features provides directions to implement the Craftsman style. Not all features need to be used. Purposeful design is key such as windows being placed in logical locations and roof forms that follow the footprint. Items that are not listed on the following menu but are provided in a plan set are acceptable if they are authentic to the Craftsman vernacular.



Craftsman Style Illustrative Architecture



Craftsman Menu of Features/Standards

(Not all features need to be included in every building.)
Roof Component (Primary Roof)
Appropriate roof forms: <ul style="list-style-type: none"> • Gable • Hip • Shed • Roof pitch: 3.5:12 to 8:12
Break in roofline for roofs longer than 30': Variation may be accomplished by changing the roof height, offsets, direction of slope, and by including elements such as dormers.
Roof Component (Accent Roof)
Appropriate roof forms: <ul style="list-style-type: none"> • Gable • Shed • Hip • Roof pitch: 3.5:12 to 8:12
Exterior Walls
4-Sided Architecture [1]. Minimum 1 material, Maximum 3 materials, and/or color variation per elevation side.
Wall articulation (applies to front and rear elevation sides): offset of 18" (minimum) in depth to at least one story of a wall plane that exceeds 30'in linear length.
Entry (Primary and JADUs)
Front Entry elements (1 per entry): <ul style="list-style-type: none"> • Porch or stoop • Roof canopy • Trellis

(Not all features need to be included in every building.)
Windows
Appropriate window styles: <ul style="list-style-type: none"> • Windows with grids (typically on upper portion of window only) • Vertically or horizontally proportioned windows • Grouped windows/ribbon windows • Square windows
Windows on all exterior elevation sides. Window sizes shall comply with CBC/CRC.
Appropriate window frame material (when included): <ul style="list-style-type: none"> • Wood • Metal • Fiberglass • Vinyl • Composite
Details
Appropriate details (choose 2 per elevation minimum): <ul style="list-style-type: none"> • Knee brace • Brackets • Exposed rafter tails • Window trim • Extended eaves (12" gable/rake ends, 18" min for extended). • Porch with square or tapered columns • With or without stone/brick veneer base of columns

Footnote [1]: 4-sided architectural details apply to façades facing directly toward public/private streets and/or open space. Façades located on interior lot, not visible to the public, may have significant less architectural detail.

(Not all features need to be included in every building.)
Exterior Doors
Appropriate door styles: <ul style="list-style-type: none"> • Solid • Door with wood and/or window panels
Trim
Appropriate trim material: <ul style="list-style-type: none"> • Wood • Simulated wood • Stucco
Trim: on all sides of windows (top, bottom, sides), trim typical on exterior doors. <ul style="list-style-type: none"> • 3.5" width (nominal minimum)
Exterior Materials
Appropriate building materials include (other materials may be proposed): <ul style="list-style-type: none"> • Stucco • Board and batt • Wood/composite wood • Horizontal or vertical siding (may be composite) • Shingle siding (may be composite) • Stone veneer • Brick veneer
Appropriate railing materials: <ul style="list-style-type: none"> • Wood or composite wood posts and railing • Other composite material posts and railing
Acceptable Roof Materials
Appropriate types of roof materials include: <ul style="list-style-type: none"> • Concrete tile with slate or shake pattern • Flat concrete tile • Architectural grade asphalt shingle (shall be multi-layer, high definition)

Craftsman Architectural Features/Standards Examples



Craftsman Roof Styles and Form



Wall Articulation



Entry Porch



Windows with Grids



Window Frame Material Example: Composite



Detail Examples: Window Trim, Rafter Tails, Column with Stone Base



Door Examples: with Window Panels



Farmhouse

(Applies to Valley Oaks North)

The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and later the Midwest. As the American Frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements.

Predominant features of the style are front and/or wrapping porches with a variety of wood columns and railings. Two-story massing, dormers and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Midwest American Farmhouse. Roof ornamentation is a characteristic detail consisting of cupolas, weathervanes, and dovecotes (these are not required).

Due to the simple and honest nature of this architectural form, the Farmhouse style can be easily adapted to a more abstract solution. The modernized Farmhouse style blends the sleek clean lines of contemporary design with warm farmhouse charm to create a uniquely fresh take on this country living inspired style.

The following Menu of Features provides directions to implement the Farmhouse style. Not all features need to be used. Purposeful design is key such as windows being placed in logical locations and roof forms that follow the footprint. Items that are not listed on the following menu but are provided in a plan set are acceptable if they are authentic to the Farmhouse vernacular.



Farmhouse Style Illustrative Architecture



Farmhouse Menu of Features/Standards

(Not all features need to be included in every building.)
Roof Component (Primary Roof)
Appropriate roof forms: <ul style="list-style-type: none"> • Gable • Hip • Shed • Roof pitch: 3.5:12 to 12:12
Break in roofline for roofs longer than 30': Variation may be accomplished by changing the roof height, offsets, direction of slope, and by including elements such as dormers.
Roof Component (Accent Roof)
Roof pitch: 3.5:12 to 12:12
Appropriate roof forms: <ul style="list-style-type: none"> • Gable • Shed
Walls
4-Sided Architecture [1]. Minimum 1 material, Maximum 3 material, and/or color variation per elevation side.
Wall articulation (applies to front and rear elevation sides): offset of 18" (minimum) in depth to at least one story of a wall plane that exceeds 30' in linear length.
Entry (Primary and JADUs)
Front Entry elements (1 per entry): <ul style="list-style-type: none"> • Porch • Stoop • Roof canopy • Trellis

(Not all features need to be included in every building.)
Windows
Appropriate window styles: <ul style="list-style-type: none"> • Windows with or without grids • Vertically or horizontally proportioned
Windows on all exterior elevation sides. Window sizes shall comply with CBC/CRC.
Appropriate window frame material: <ul style="list-style-type: none"> • Wood • Metal • Fiberglass • Vinyl • Composite
Details
Appropriate details (choose 1 per elevation minimum): <ul style="list-style-type: none"> • Shutters • Simple gable ends • Pot shelves • Window trim • Decorative louvers vents
Exterior Doors
Appropriate door styles: <ul style="list-style-type: none"> • Solid • Door with panels and/ or with glazing

Footnote [1]: 4-sided architectural details apply to façades facing directly toward public/private streets and/or open space. Façades located on interior lot, not visible to the public, may have significant less architectural detail.

(Not all features need to be included in every building.)
Trim
Appropriate trim material: <ul style="list-style-type: none"> • Wood • Composite wood • Stucco
Trim: 2" width (minimum) if applied to windows or doors.
Building Materials
Appropriate building materials include (other materials may be proposed): <ul style="list-style-type: none"> • Stucco • Board and batt • Horizontal or vertical siding • Stone veneer • Brick veneer
Appropriate railing materials: <ul style="list-style-type: none"> • Wood or composite wood posts and railing
Acceptable Roof Materials
Appropriate types of roof materials include: <ul style="list-style-type: none"> • Concrete tile with slate or shake pattern • Architectural grade asphalt shingle (shall be multi-layer, high definition) • Metal

Farmhouse Architectural Features/Standards Examples



Farmhouse Roof Styles and Form



Wall Articulation



Entry Porch



Window Example: With Grids



Window Frame Material
Example: Composite



Detail Examples: Window Trim, Shutters, Decorative
Louvre Vent



Door Examples: with Panels and with Glazing



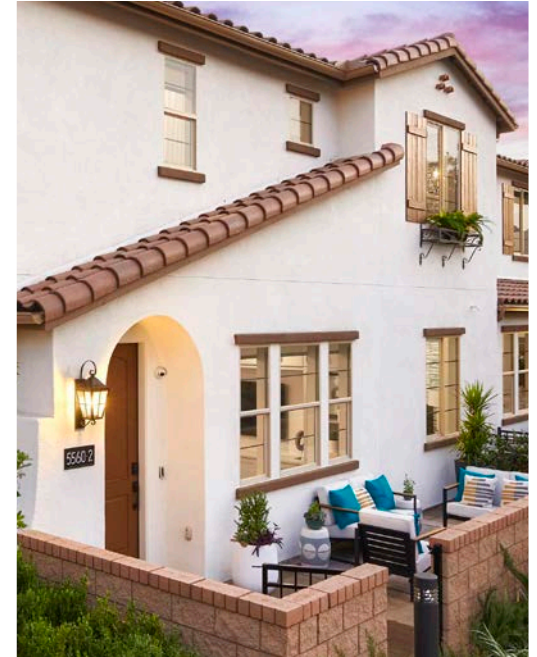
Mediterranean

(Applies to Valley Oaks North)

The Mediterranean style is a prime example of an old-world traditional style adapted to California climate and aesthetic. This traditional style has been refined, transformed, and embellished into a truly eclectic classic style.

This style elicits a rustic character, expressed in warm colors, textures, materials and simple massing. Elements such as S-tile, arched features, and metal are commonly provided on the Mediterranean style. Use of classically shaped decorative trim elements, columns, and cornice details are characteristic but not mandatory.

The following Menu of Features provides directions to implement the Mediterranean style. Not all features need to be used. Purposeful design is key such as windows being placed in logical locations and roof forms that follow the footprint. Items that are not listed on the following menu but are provided in a plan set are acceptable if they are authentic to the Mediterranean vernacular.



Mediterranean Style Illustrative Architecture



Mediterranean Menu of Features/Standards

(Not all features need to be included in every building.)	(Not all features need to be included in every building.)	(Not all features need to be included in every building.)
Roof Component (Primary Roof)	Windows	Building Materials
<p>Appropriate roof forms:</p> <ul style="list-style-type: none"> • Gable • Hip • Shed • Flat roof with parapet • Roof pitch: flat up to 6:12 	<p>Appropriate window styles:</p> <ul style="list-style-type: none"> • Windows with no grids • Windows with grids • Arched feature window • Horizontally or vertically proportioned • Grouped windows 	<p>Appropriate building materials include (other materials may be proposed):</p> <ul style="list-style-type: none"> • Stucco • Stone veneer • Brick veneer • Ceramic tiles • Metal accents
<p>Break in roofline for roofs longer than 30': Variation may be accomplished by changing the roof height, offsets, direction of slope, and by including elements such as dormers.</p>	<p>Windows on all elevation sides. May not be applicable in conditions or narrow attached homes and size shall comply with CBC/CRC.</p>	<p>Appropriate railing materials:</p> <ul style="list-style-type: none"> • Metal or wood/composite wood railing
Roof Component (Accent Roof)	Appropriate window frame material:	Details
<p>Appropriate roof forms:</p> <ul style="list-style-type: none"> • Shed • Hip • Gable • Flat roof with parapet • Roof pitch: flat up to 6:12 	<ul style="list-style-type: none"> • Wood • Metal • Fiberglass • Vinyl • Composite 	<p>Choose 2 per elevation (minimum):</p> <ul style="list-style-type: none"> • Decorative ornamentation • Tile or stone accents • Decorative vents (if authentic to the derivative Mediterranean style) • Archways or arched features • Wrought iron or metal railings, gates, or grilles • Shutters (if authentic to the derivative Mediterranean style) • Corbels • Wood posts or beams (composite wood is acceptable)
Walls	Doors	Acceptable Roof Materials
<p>4-Sided Architecture [1]. Minimum 1 material, Maximum 3 materials, and/or color variation per elevation side.</p>	<p>Appropriate door styles:</p> <ul style="list-style-type: none"> • Solid • Door with grooves • Door with glass • Panel door 	<p>Appropriate types of roof materials:</p> <ul style="list-style-type: none"> • S-tile • Flat tile
<p>Wall articulation (applies to front and rear elevation sides): offset of 18" (minimum) in depth to at least one story of a wall plane that exceeds 30' in linear length.</p>	Trim	<p>Footnote [1]: 4-sided architectural details apply to façades facing directly toward public/private streets and/or open space. Façades located on interior lot, not visible to the public, may have significant less architectural detail.</p>
Entry	<p>Appropriate trim material:</p> <ul style="list-style-type: none"> • Wood/Composite Wood • Stucco 	
<p>Front Entry elements (1 per entry):</p> <ul style="list-style-type: none"> • Porch • Arched feature • Trellis 	<p>Trim: 2" width (minimum) if applied to windows or doors.</p>	

Mediterranean Architectural Features/Standards Examples



Mediterranean Roof Styles and Form



Wall Articulation



Entry Porch



Window Example: With Grids



Window Frame/Trim Example: Composite Frame/Stucco Trim



Detail Examples: Metal Accents, Decorative Ornamentation, Shutters



Door Example: Panel Door with Arch Feature

