

DESIGN REVIEW SUBMITTAL  
GRANT AVENUE AND 3RD STREET  
10TH MAY 2021

SHEET INDEX

SHEET	DESCRIPTION
G1.0	COVER SHEET
	CIVIL EXHIBITS
TM-1	TENTATIVE PARCEL MAP
C1	EXISTING CONDITION PLAN
C2	PRELIMINARY UTILITY PLAN
C3	PRELIMINARY GRADING AND DRAINAGE PLAN
C4	PRELIMINARY STORM WATER MANAGEMENT PLAN
C5	PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN
	RESIDENTIAL BUILDING EXHIBITS
A1.0	CONCEPTUAL SITE PLAN
A1.1	CONCEPTUAL SITE SECTIONS
A2.0	CONCEPTUAL BUILDING PLANS
A3.0	CONCEPTUAL UNIT PLANS
A4.0	CONCEPTUAL BUILDING ELEVATIONS
A4.1	CONCEPTUAL BUILDING ELEVATIONS
A5.0	CONCEPTUAL 3D VIEWS
A6.0	CONCEPTUAL MATERIAL AND COLOR BOARD
A7.0	CONCEPTUAL METAL AWNING DETAILS
	LANDSCAPE EXHIBITS
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN



CURRENT ZONING:	CDR, DOWNTOWN OVERLAY	
GENERAL PLAN:	DOWNTOWN CORE	
EXISTING USE:	RETAIL	
APN:	141-262-13 & 141-262-12	
PROPOSED USE:	MIXED USE	
PROJECT ADDRESS:	1212 & 1214 GRANT AVENUE NOVATO, CA 94945	
PROPOSED TYPE OF CONSTRUCTION:	TYPE III	
AUTOMATIC SPRINKLER:	YES	
FAR:	2	
ALLOWABLE FAR:	3.2	
PROPOSED FAR:	3.2	
LOT SIZE:	0.34 ACRES (14,810 SF)	
SUBJECT PROPERTY:	1,345 SF	
RETAIL PROVIDED:	60 UNITS	
NUMBER OF UNITS:	60 UNITS / 0.34 ACRES = 177 DU/AC	
DENSITY:	60 UNITS	
UNITS MIX:	60 UNITS	
STUDIOS:		
GROSS FLOOR AREA:		
1ST FLOOR / PODIUM LEVEL (INCLUDING RETAIL):	9,990 SF	
2ND FLOOR:	9,290 SF	
3RD FLOOR:	9,290 SF	
4TH FLOOR:	9,290 SF	
5TH FLOOR:	9,290 SF	
GRAND TOTAL:	47,150 SF	
OPEN SPACE CALCULATIONS:		
REQUIRED COMMON OPEN SPACE: 150 SF/UNIT:	9,000 SF	
PROVIDED:		
GROUND LEVEL PATIO OPEN SPACE:	361 SF	
ENCLOSED COMMON SPACE (AMENITIES):	1,298 SF	
NUMBER OF STORIES:	5 STORIES	
VEHICLE PARKING:		
RESIDENTIAL REQUIRED: 1 SPACE/UNIT:	60 STALLS	
RETAIL REQUIRED: 1 SPACE/300 SF (GENERAL RETAIL):	5 STALLS	
PROVIDED:	0 STALLS	
BICYCLE PARKING:		
RESIDENTIAL REQUIRED: MINIMUM 10% OF VEHICLE SPACES:	6	
RETAIL REQUIRED: MINIMUM 5% OF VEHICLE SPACES:	3	
PROVIDED:	6 STALLS	
MOTORCYCLE PARKING:		
REQUIRED:	1 STALL	
PROVIDED:	0 STALLS	
SETBACK:	REQUIRED	PROVIDED
FRONT (ALONG GRANT AVENUE):	0'	5'-0"
GROUND FLOOR SIDE (ALONG 3RD STREET):	0'	8'-3"
SIDE INTERIOR (ALONG EAST PROPERTY LINE):	0'	10'-2"
REAR (ALONG NORTH PROPERTY LINE):	0'	9'-0"
MAXIMUM BUILDING HEIGHT:	REQUIRED	PROVIDED
	45'-0"***	64'-4"

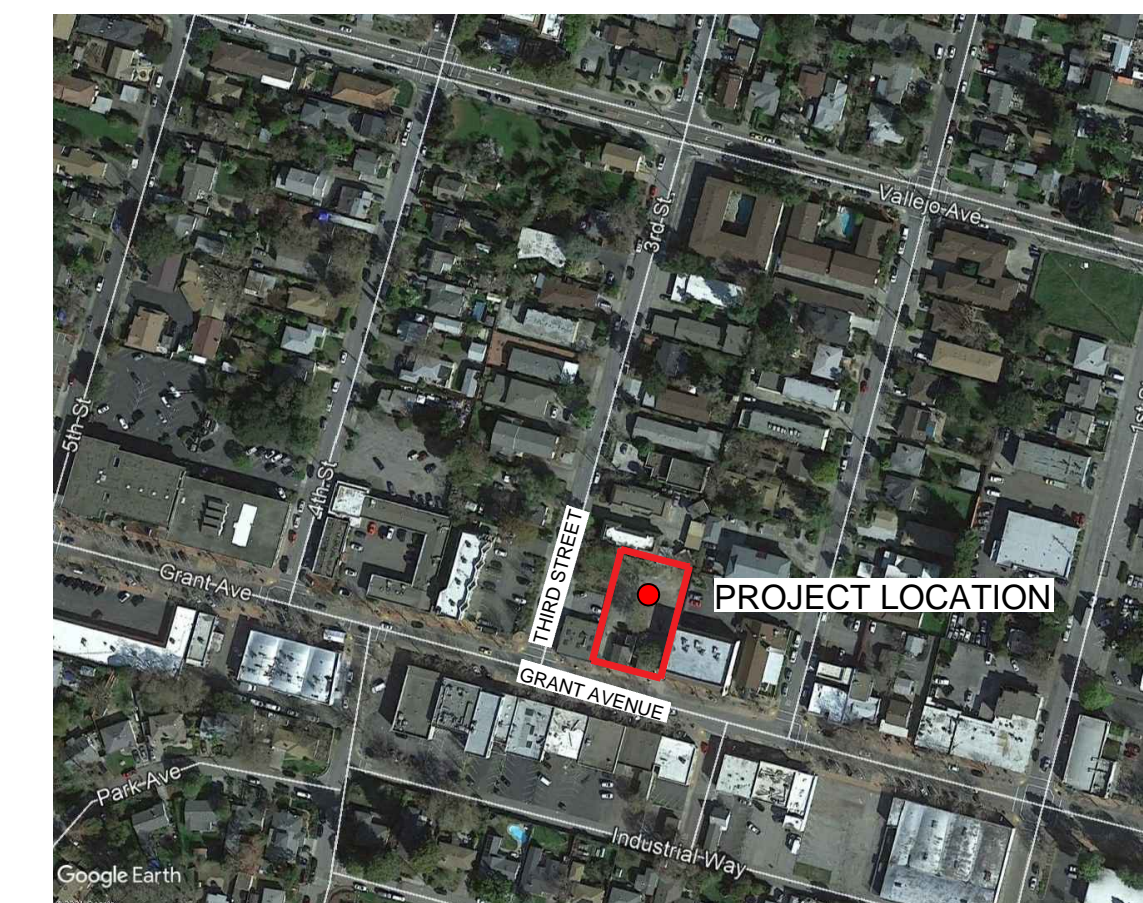
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GRANT AVENUE & 3RD STREET  
AMG & ASSOCIATES

NOVATO, CA.

DATE: 05-10-2021  
JOB NO.: 2020-296

AO ARCHITECTS  
144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860

G1.0







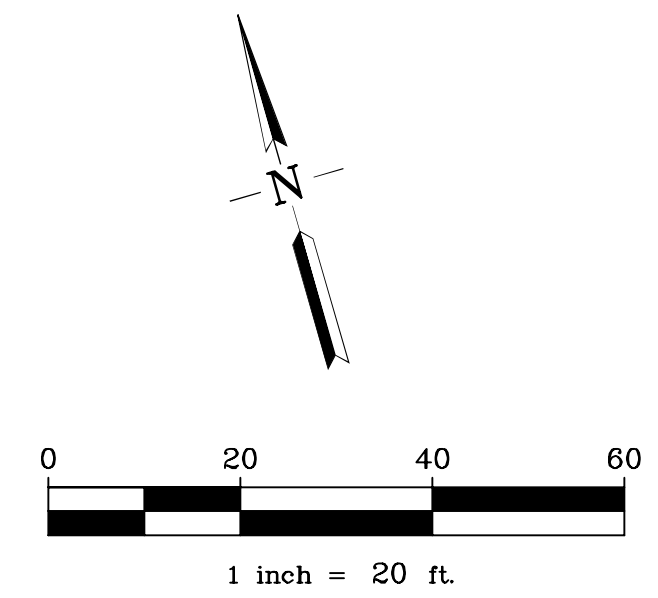
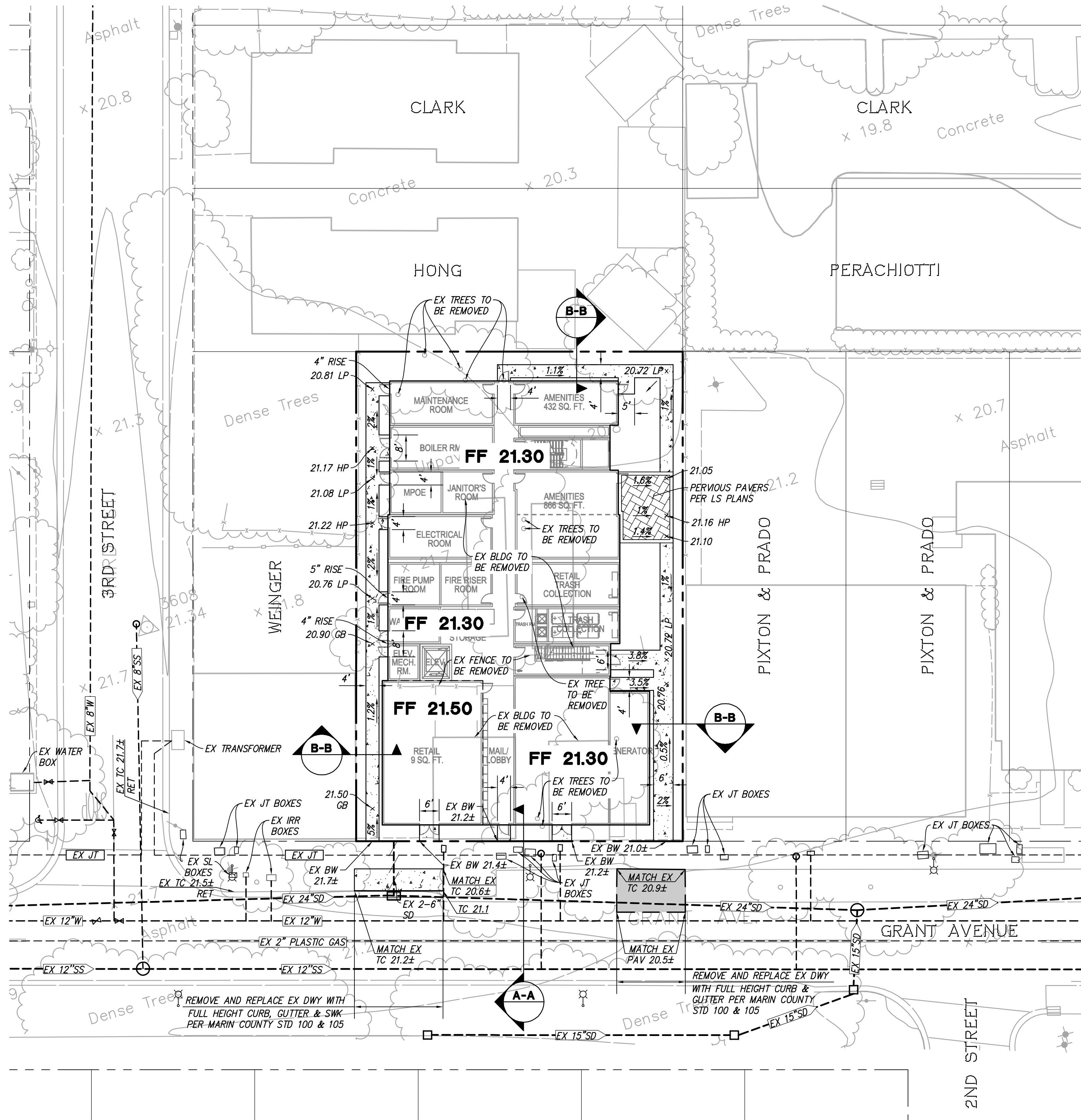






**LEGEND**

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	EASEMENT LINE	---
12"SD	STORM DRAIN	EX 12"SD
8"SS	SANITARY SEWER	EX 12"SS
12"W	POTABLE WATER	EX 12"W
8"FS	FIRE SERVICE	EX 8"FS
---	CURB & GUTTER	EX FC
---	PCC SIDEWALK	---
■	STORM WATER INLET	□
○	FIELD INLET	○
○	MANHOLE	○
○	SANITARY SEWER CLEAN OUT	○
○	SANITARY SEWER LATERAL	○
○	FIRE HYDRANT	○
○	WATER SERVICE WITH METER BOX	○
○	WATER VALVE	○
○	BACKFLOW	○
○	STREET LIGHT	○
○	TRAFFIC SIGN	○
○	FENCE	○
○	CURB RAMP	○
○	SPOT ELEVATION	○
○	NEW PAVEMENT	○



**NOTES:**

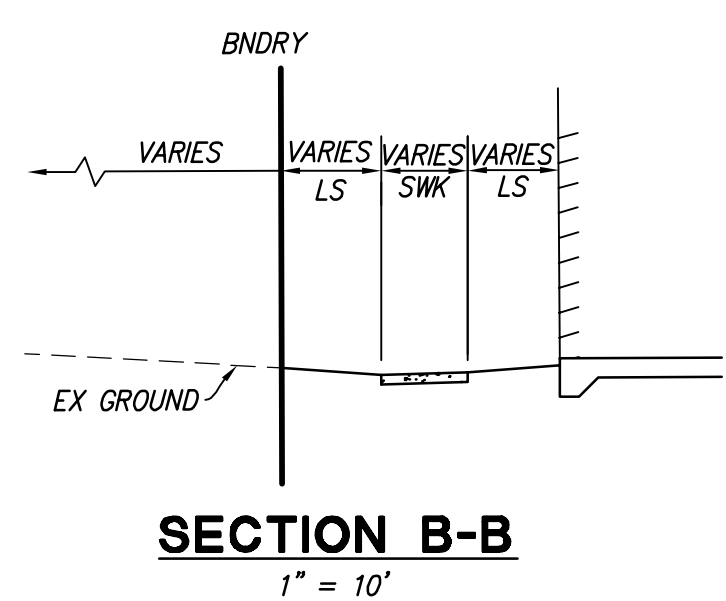
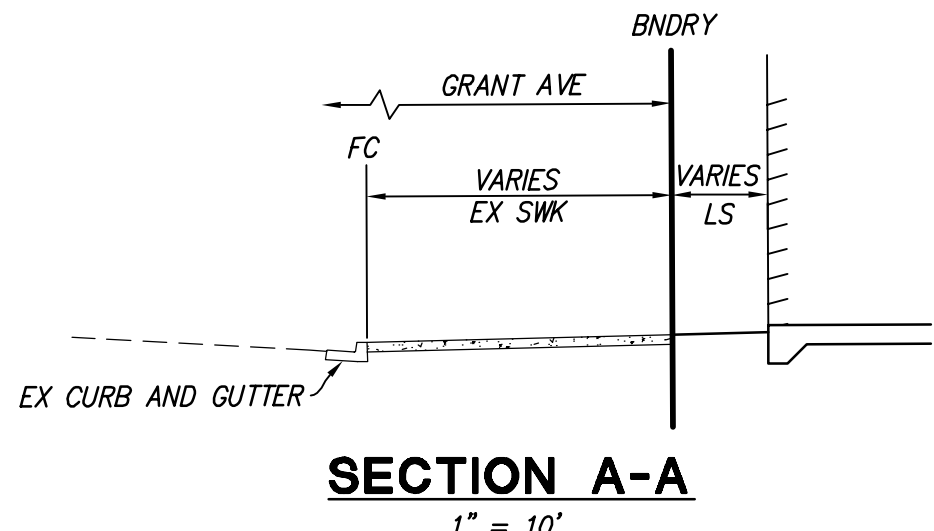
1. THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.

**LEGEND**

--- EX UTILITY TO BE REMOVED

PRELIMINARY ESTIMATED EARTHWORK QUANTITIES		
ITEMS	CUT (C.Y.)	FILL (C.Y.)
BUILDING	360	-
BIORETENTION	120	-
SIDEWALK	10	-
UTILITY TRENCH SPOILS	100	-
FOUNDATION AND PLUMBING SPOILS	200	-
SHRINKAGE (ASSUME 5%)	-	-
TOTAL	790	-
EXPORT	790	-

1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" ELEVATIONS AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. SHRINKAGE WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER.



**PRELIMINARY GRADING AND DRAINAGE PLAN**

**1214 GRANT AVENUE MIXED USE**

CITY OF NOVATO, MARIN COUNTY, CALIFORNIA  
FOR: AMG & ASSOCIATES



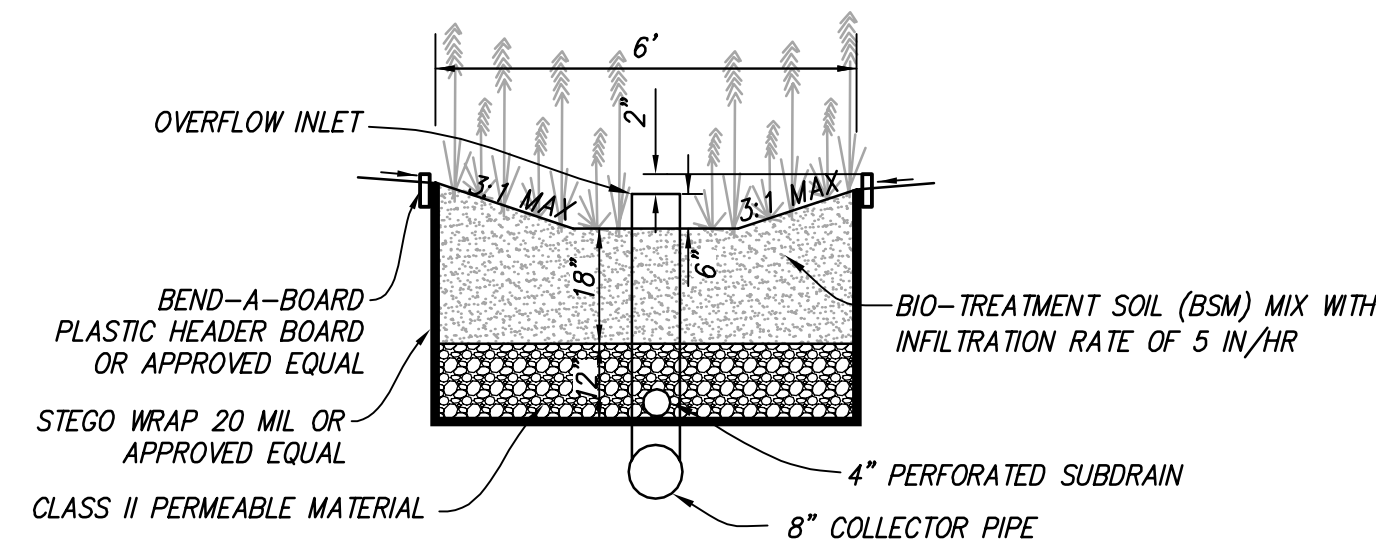
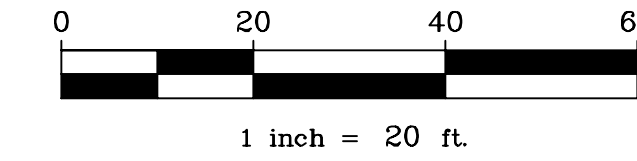
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588  
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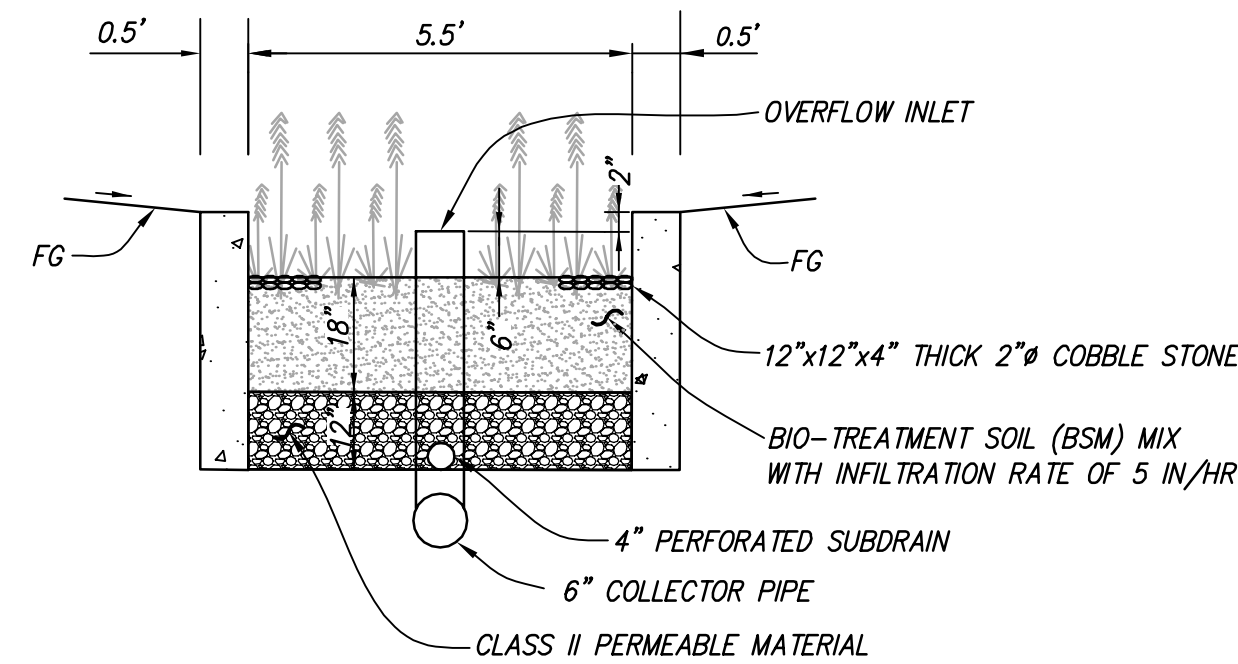


STORMWATER SIZING CALCULATOR SPREADSHEET

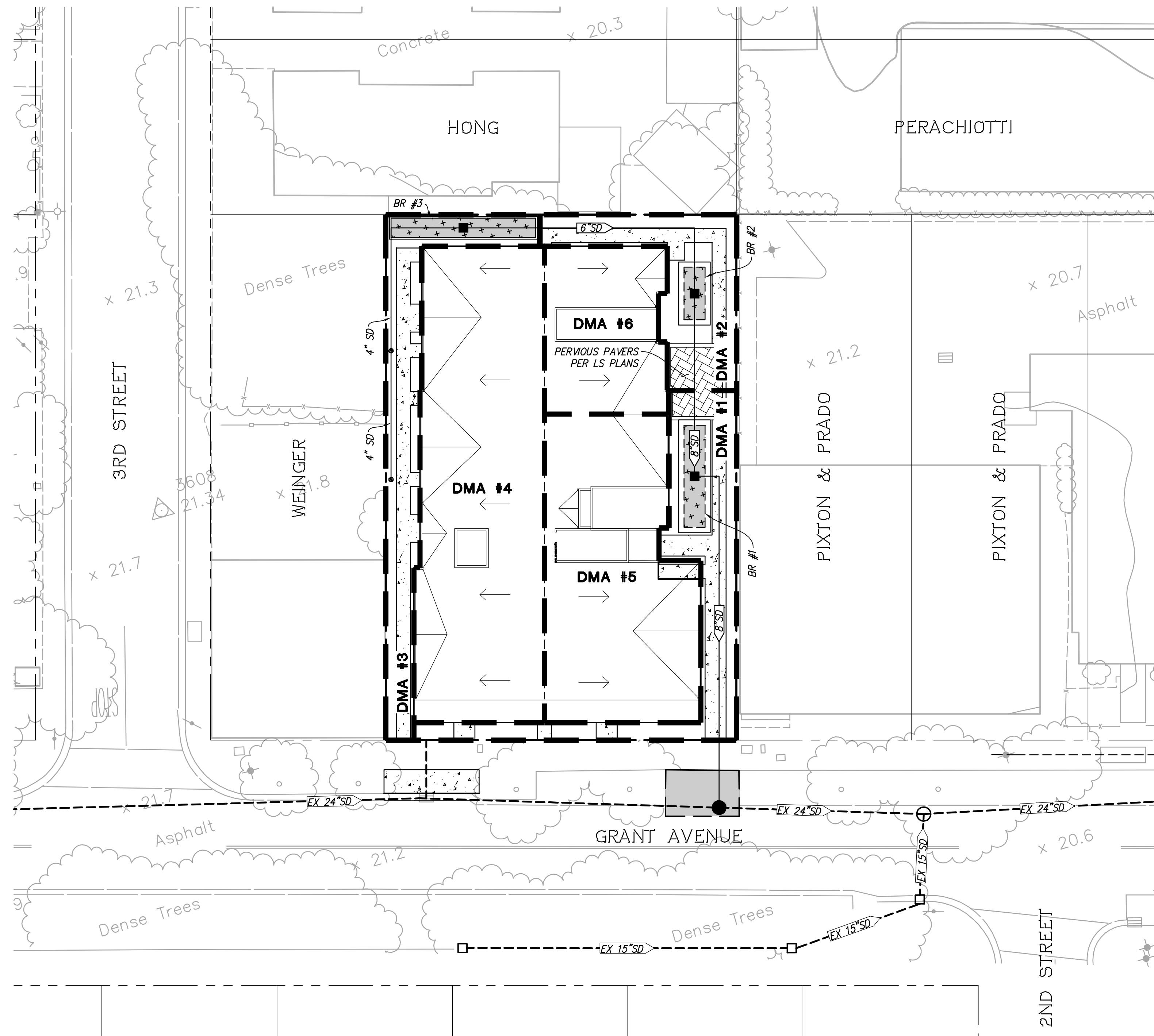
DMA NAME	DMA AREA (SF)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	SIZING FACTOR	MINIMUM FACILITY AREA (SF)	PROPOSED FACILITY AREA (SF)	FACILITY TYPE	FACILITY NAME
1A	1,108	LANDSCAPE	0.1	111	0.04	4	4	BIORETENTION	BR #1
1B	647	IMPERVIOUS	1.0	647	0.04	26	28	BIORETENTION	BR #1
1C	136	PERVIOUS PAVERS	0.3	41	0.04	2	2	BIORETENTION	BR #1
2A	773	LANDSCAPE	0.1	77	0.04	3	5	BIORETENTION	BR #2
2B	355	IMPERVIOUS	1.0	355	0.04	14	14	BIORETENTION	BR #2
2C	224	PERVIOUS PAVERS	0.3	67	0.04	3	5	BIORETENTION	BR #2
3A	1,047	LANDSCAPE	0.1	105	0.04	4	5	BIORETENTION	BR #3
3B	658	IMPERVIOUS	1.0	658	0.04	26	27	BIORETENTION	BR #3
4	4,885	IMPERVIOUS	1.0	4,885	0.04	195	195	BIORETENTION	BR #3
5	3,521	IMPERVIOUS	1.0	3,521	0.04	141	141	BIORETENTION	BR #1
6	1,646	IMPERVIOUS	1.0	1,646	0.04	66	66	BIORETENTION	BR #2
<b>TOTAL</b>	<b>15,000</b>	-	-	-	-	<b>485</b>	<b>492</b>	-	-



**BIORETENTION IN LANDSCAPE AREA**  
NOT TO SCALE



**BIORETENTION IN LANDSCAPE AREA W/CURB**  
NOT TO SCALE



**NOTES:**

- HYDROMODIFICATION IS NOT REQUIRED DUE TO THE PROJECT CREATING AND/OR REPLACING LESS THAN ONE ACRE OF IMPERVIOUS SURFACE AREA. THE TOTAL AREA OF THE SITE IS 0.34± ACRES.
- THESE SHEETS ARE NOT APPROVED THE DEMOLITION, MODIFICATION, OR INSTALLATION OF ANY FIRE PROTECTION UNDERGROUND COMPONENTS. IF ANY FIRE PROTECTION UNDERGROUND WORK IS REQUIRED OF THIS SCOPE, A SEPARATE SUBMITTAL TO THE CITY OF NOVATO FIRE DEPARTMENT FOR REVIEW AND APPROVAL IS REQUIRED BY THE INSTALLING LICENSED CONTRACTOR PRIOR TO ANY MODIFICATIONS OF ANY FIRE PROTECTIONS COMPONENTS.
- EACH OF DMA #1-3 ARE SPLIT UP INTO SUB-REGIONS. SUB-REGION "A" REFERS TO THE LANDSCAPE PORTION OF THE DMA, SUB-REGION "B" REFERS TO THE IMPERVIOUS PORTION OF THE DMA, AND SUB-REGION "C" REFERS TO THE PORTION OF THE DMA THAT CONSISTS OF PERVIOUS PAVERS.

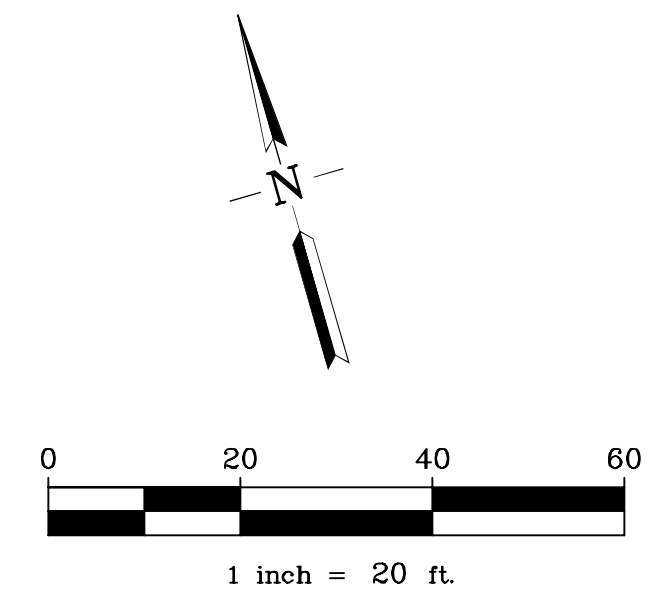
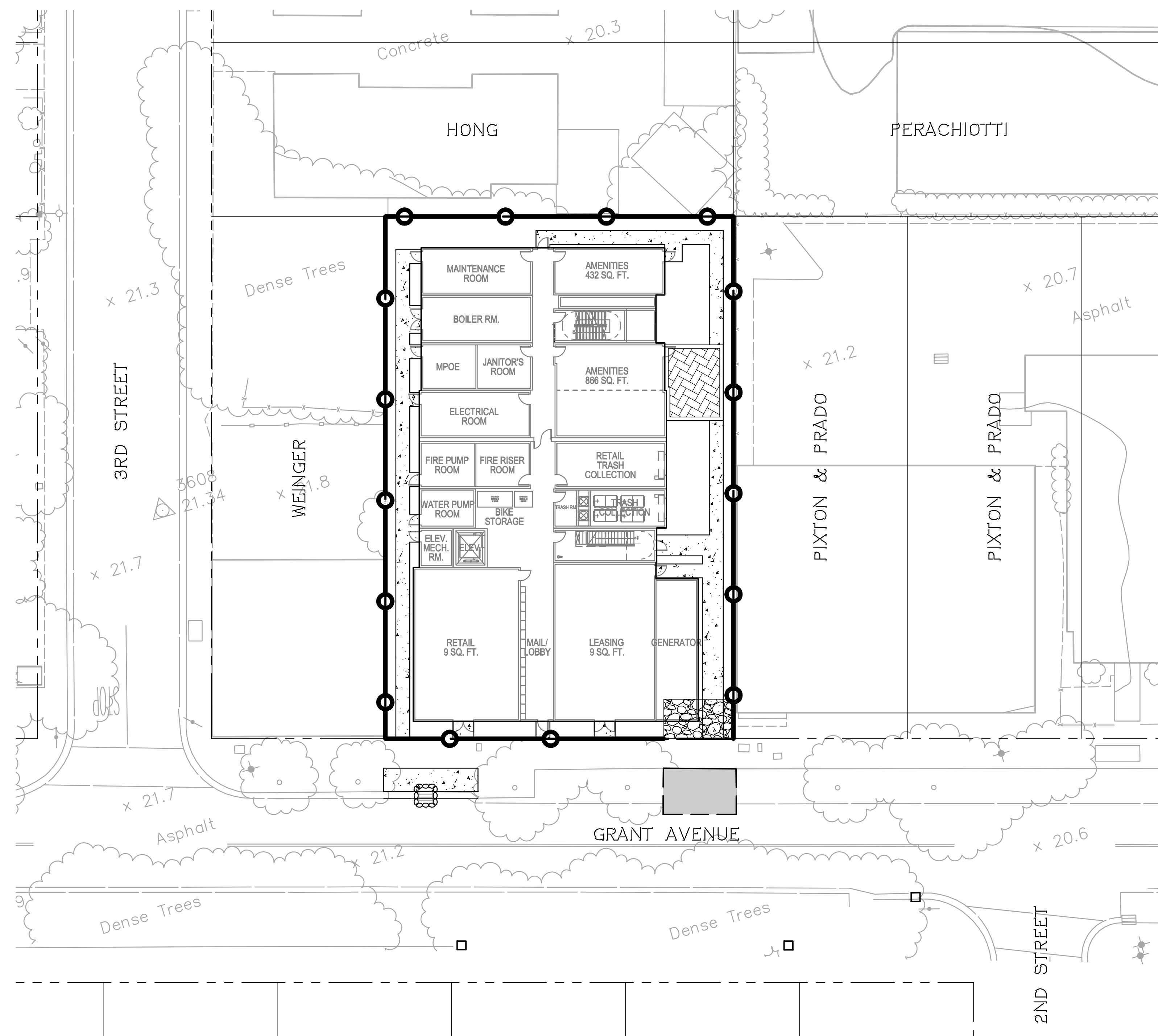
**LEGEND:**

- BIORETENTION IN LANDSCAPE AREA
- BIORETENTION IN LANDSCAPE AREA W/CURB


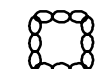

**PRELIMINARY STORMWATER MANAGEMENT PLAN**  
**1214 GRANT AVENUE MIXED USE**  
CITY OF NOVATO, MARIN COUNTY, CALIFORNIA  
FOR: AMG & ASSOCIATES

**RJA**  
**RUGGERI-JENSEN-AZAR**  
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4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588  
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**LEGEND**

-  SILT FENCE PER CASQA SE-1 AND SE-12
-  DRAIN INLET PROTECTION PER CASQA SE-10
-  STABILIZED SITE ENTRANCE PER CASQA TC-1 & TC-3

**EROSION CONTROL NOTES:**

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30).
2. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
3. ALL EXPOSED SOIL SHALL BE COVERED WITH STRAW MULCH AND TACKIFIER (OR EQUIVALENT) PER CASQA EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, AND EC-16.
4. SOIL PREPARATION SHALL BE CONDUCTED PER CASQA EC-15.
5. IN CASE OF EMERGENCY, PLEASE CONTACT AMANDA LOCKE AT (818) 600-2518.
6. ALL EXISTING INLETS WITHIN 50' OF THE PROJECT BOUNDARY SHALL BE PROTECTED WITH A BURLAP SACK STORMWATER INLET SEDIMENT FILTER.

**PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN**  
**1214 GRANT AVENUE MIXED USE**  
 CITY OF NOVATO, MARIN COUNTY, CALIFORNIA  
 FOR: AM& ASSOCIATES

  
**RUGGERI-JENSEN-AZAR**  
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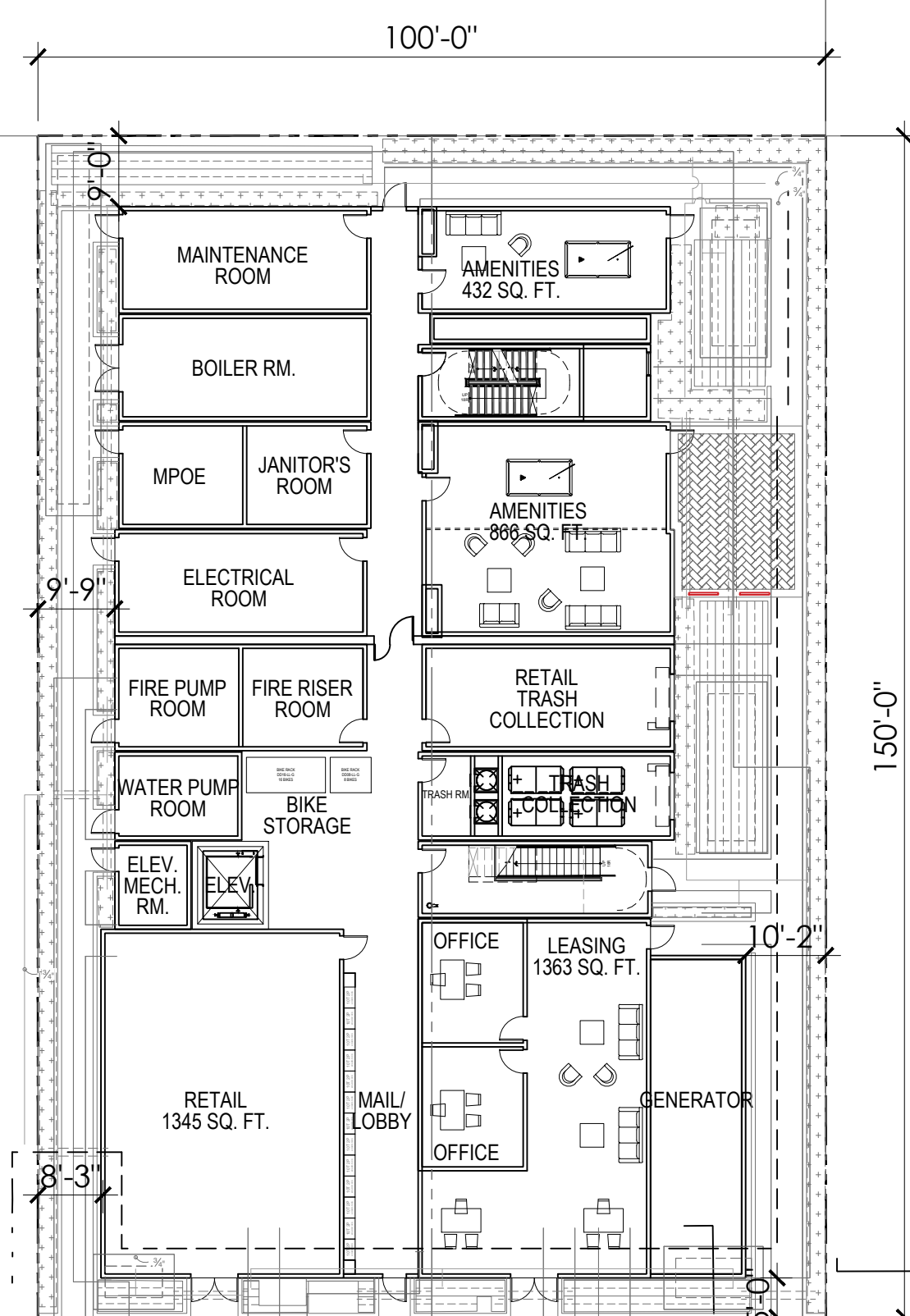
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<b>CURRENT ZONING:</b>	CDR, DOWNTOWN OVERLAY
<b>GENERAL PLAN</b>	DOWNTOWN CORE
<b>EXISTING USE</b>	RETAIL
<b>APN</b>	141-262-13 & 141-262-12
<b>PROPOSED USE:</b>	MIXED USE
<b>PROJECT ADDRESS:</b>	1212 & 1214 GRANT AVENUE NOVATO, CA 94945
<b>PROPOSED TYPE OF CONSTRUCTION:</b>	TYPE III
<b>AUTOMATIC SPRINKLER:</b>	YES
<b>FAR:</b>	
ALLOWABLE FAR:	2
PROPOSED FAR:	3.2
<b>LOT SIZE:</b>	
SUBJECT PROPERTY:	0.34 ACRES (14,810 SF)
<b>RETAIL PROVIDED:</b>	1,345 SF
<b>NUMBER OF UNITS:</b>	60 UNITS
<b>DENSITY:</b>	60 UNITS / 0.34 ACRES = 177 DU/AC
<b>UNITS MIX:</b>	
STUDIOS:	60 UNITS
<b>GROSS FLOOR AREA</b>	
1ST FLOOR/ PODIUM LEVEL (INCLUDING RETAIL)	9,990 SF
2ND FLOOR	9,290 SF
3RD FLOOR	9,290 SF
4TH FLOOR	9,290 SF
5TH FLOOR	9,290 SF
<b>GRAND TOTAL:</b>	<b>47,150 SF</b>
<b>OPEN SPACE CALCULATIONS</b>	
REQUIRED COMMON OPEN SPACE: 150 SF/UNIT	9,000 SF
PROVIDED:	
GROUND LEVEL PATIO OPEN SPACE:	361 SF
ENCLOSED COMMON SPACE (AMENITIES):	1,298 SF
<b>NUMBER OF STORIES:</b>	5 STORIES
<b>VEHICLE PARKING:</b>	
RESIDENTIAL REQUIRED: 1 SPACE/ UNIT	60 STALLS
RETAIL REQUIRED: 1 SPACE/ 300 SF (GENERAL RETAIL)	5 STALLS
PROVIDED:	0 STALLS
<b>BICYCLE PARKING:</b>	
RESIDENTIAL REQUIRED: MINIMUM 10% OF VEHICLE SPACES	6
RETAIL REQUIRED: MINIMUM 5% OF VEHICLE SPACES	3
PROVIDED:	6 STALLS
<b>MOTORCYCLE PARKING:</b>	
REQUIRED	1 STALL
PROVIDED:	0 STALLS
<b>SETBACK:</b>	<b>REQUIRED</b> <b>PROVIDED</b>
FRONT (ALONG GRANT AVENUE)	0'                      5'-0"
GROUND FLOOR SIDE (ALONG 3RD STREET):	0'                      8'-3"
SIDE INTERIOR (ALONG EAST PROPERTY LINE):	-                        10'-2"
REAR (ALONG NORTH PROPERTY LINE):	0'                        9'-0"
<b>MAXIMUM BUILDING HEIGHT:</b>	<b>REQUIRED</b> <b>PROVIDED</b>
	45'-0"***      64'-4"

\*Structures with heights 20' and over shall set back upper portions of the structure a minimum of 10' from side property lines for each additional story above two.  
 \*\* 45' (excluding roof design)

3RD STREET



GRANT AVENUE

NOVATO, CA.

GRANT AVENUE & 3RD STREET  
 AMG & ASSOCIATES

**WAVE BIKE RACKS**



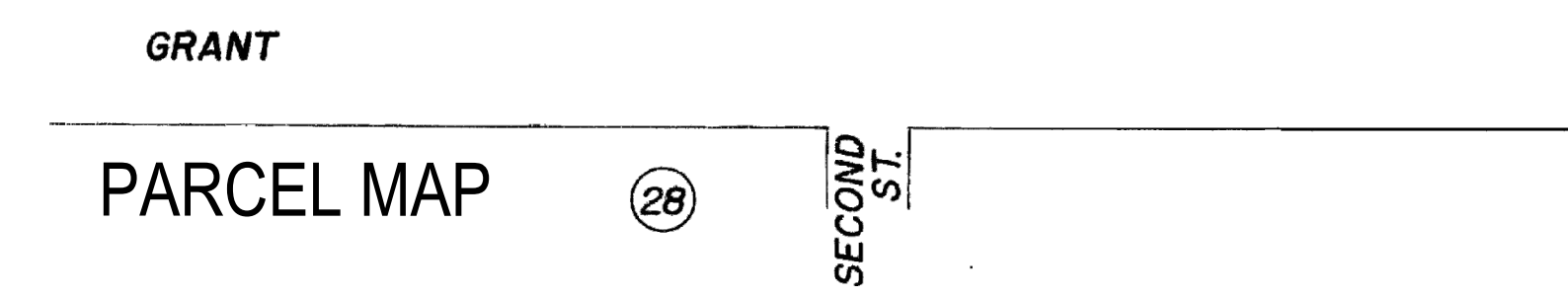
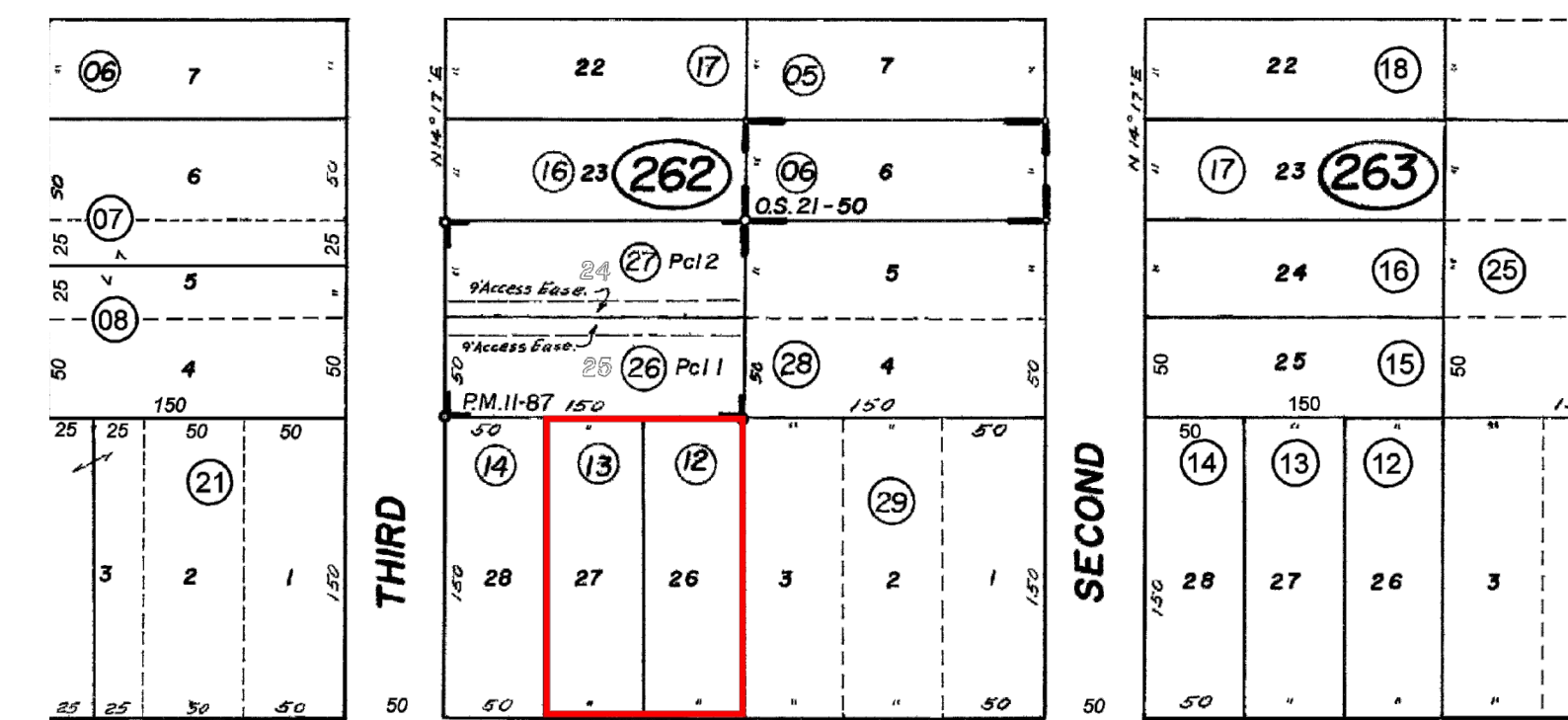
- Upscale stylish look. Easy to secure your bike.
- For stadiums, parks and athletic fields.
  - 10-gauge galvanized steel or attractive powder coating.
  - 2 1/4" diameter bar.

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)	PRICE EACH
H-2892*	1-Loop	22 x 2 1/2 x 34"	3	27	\$190 \$180
H-2543	3-Loop	43 x 2 1/2 x 39"	5	56	360 340
H-2544	5-Loop	68 x 2 1/2 x 39"	7	80	450 430

\*Galvanized and Black only      ■ SHIPS VIA MOTOR FREIGHT  
**ULINE Shipping Supply Specialists**

**LEGEND**

- 3 COUNT BICYCLE PARK RACK
- - - FLOOR LEVEL ABOVE



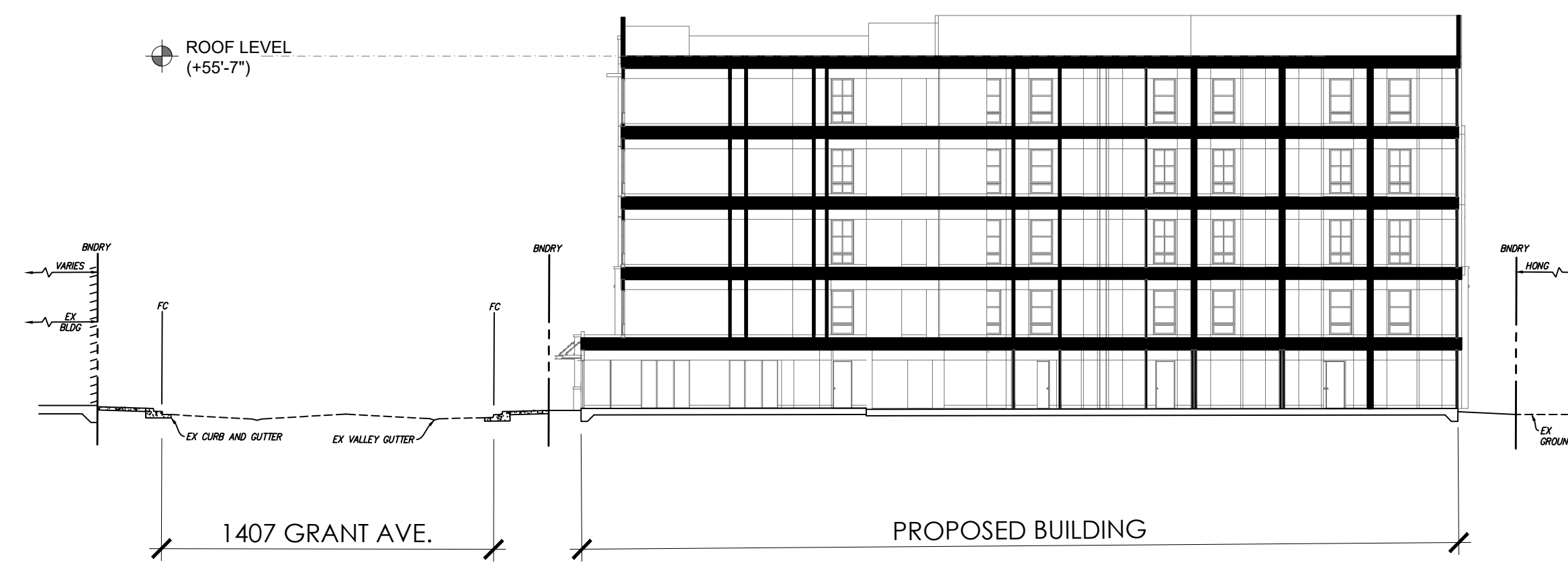
1"=20'-0"

CONCEPTUAL SITE PLAN **A1.0**

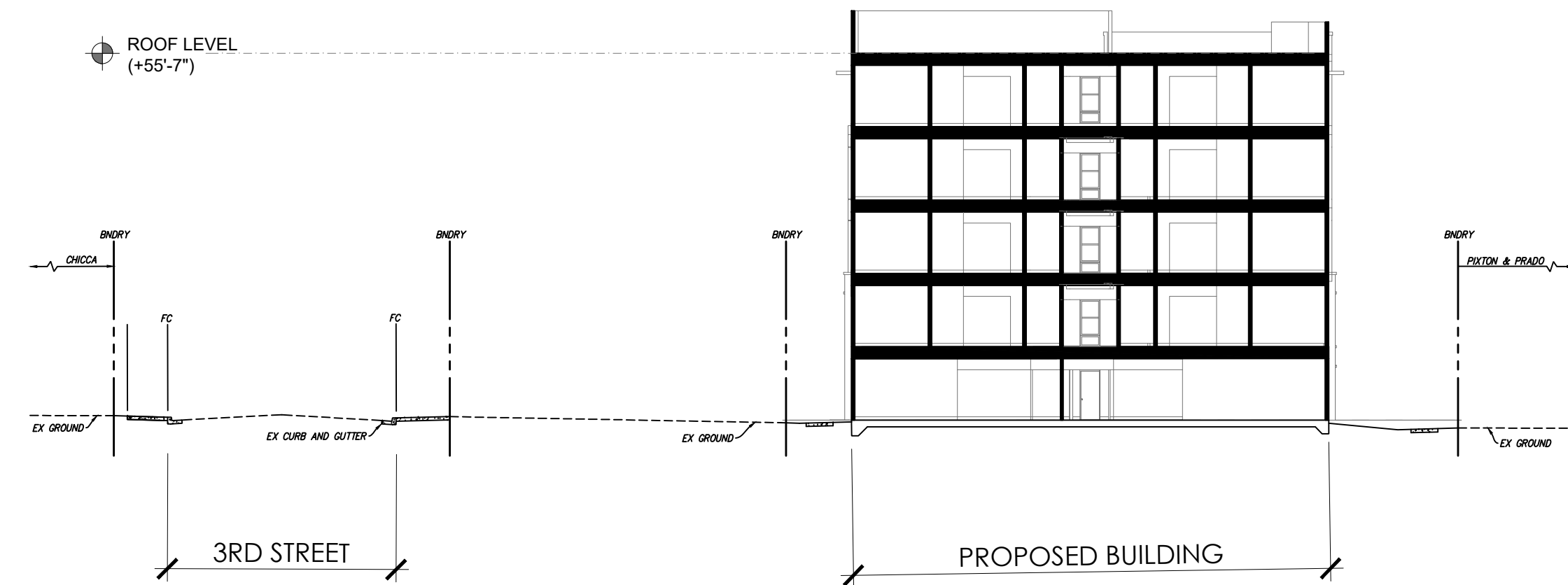
DATE: 05-10-2021  
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 144 NORTH ORANGE ST., ORANGE, CA 92866  
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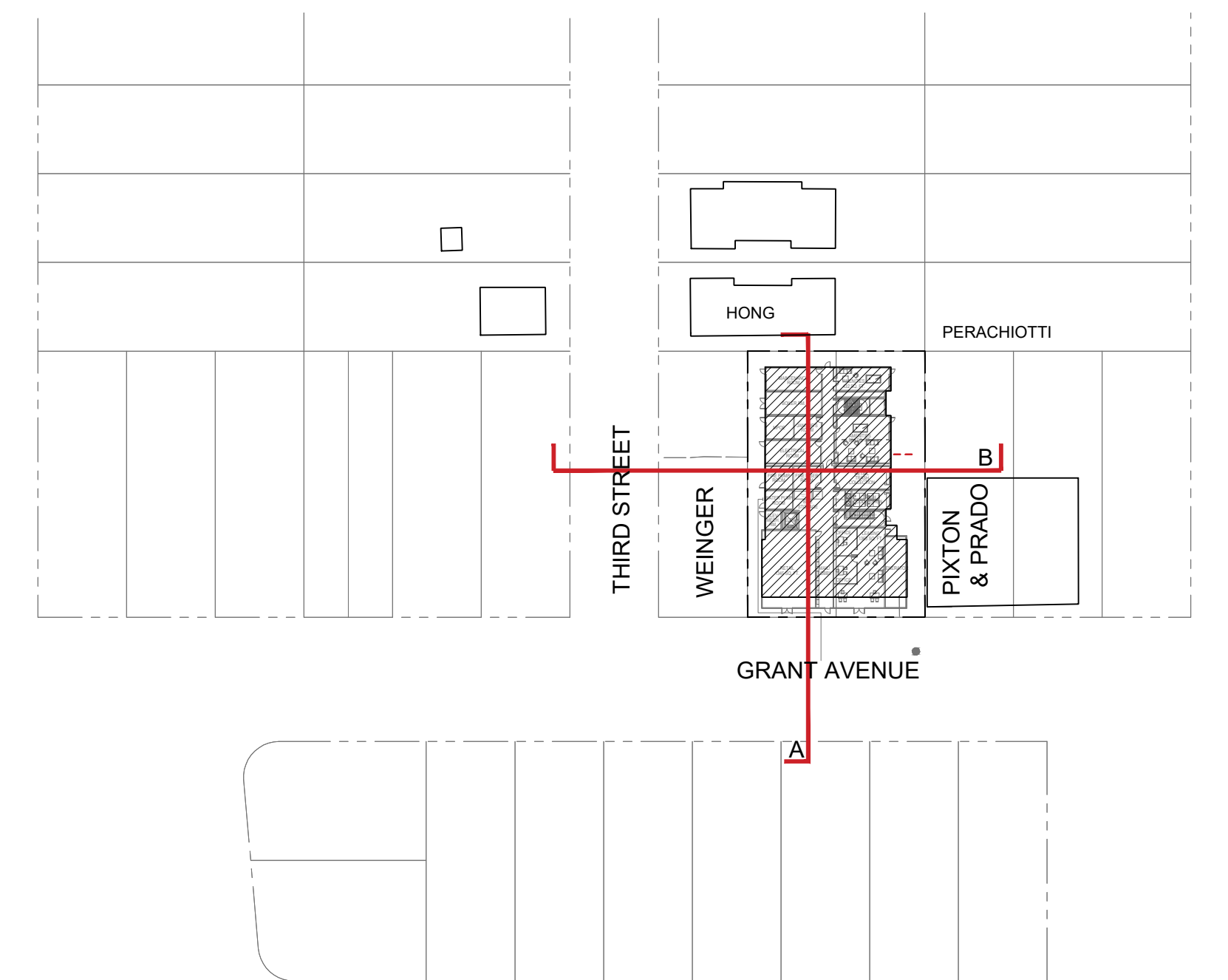




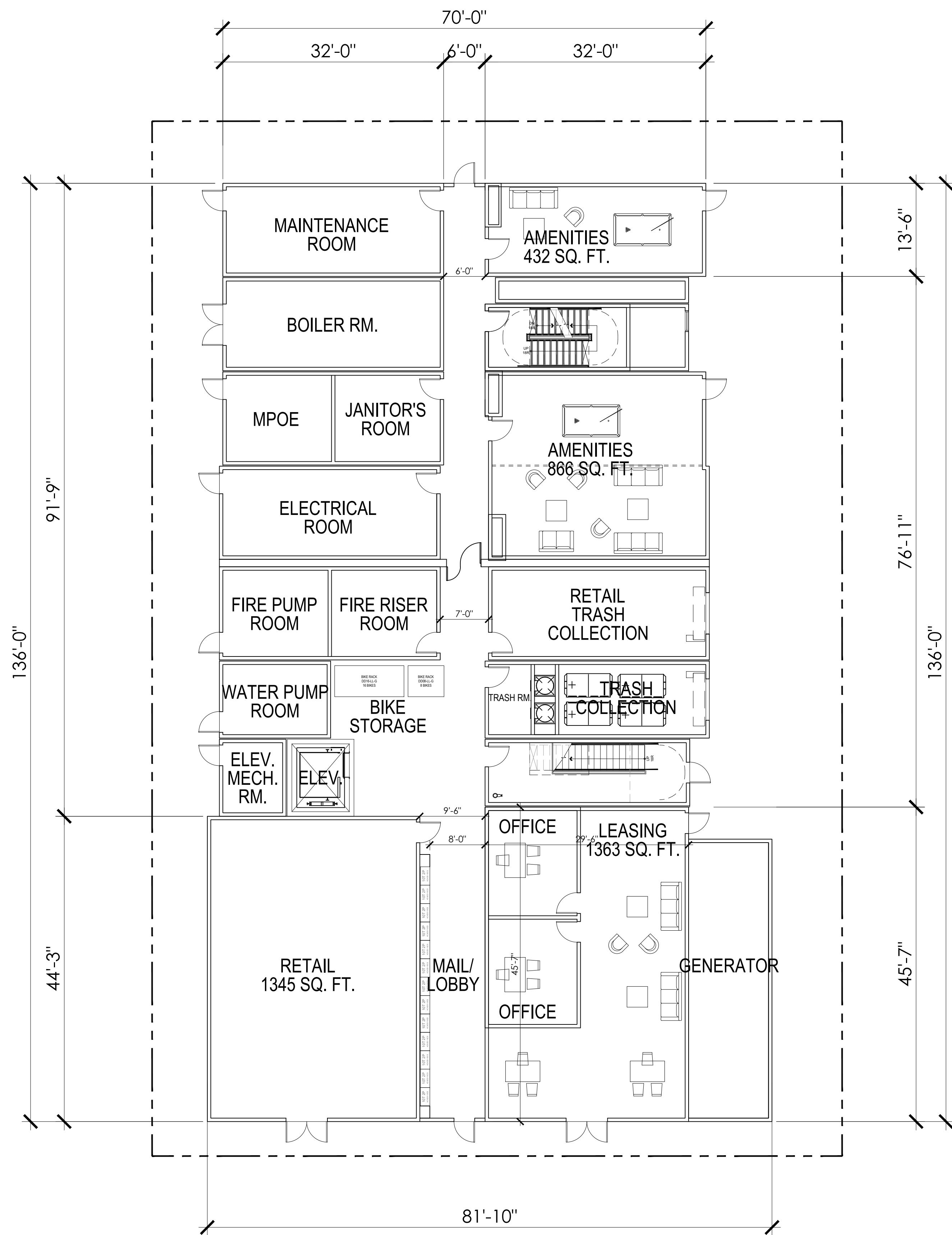
SECTION A



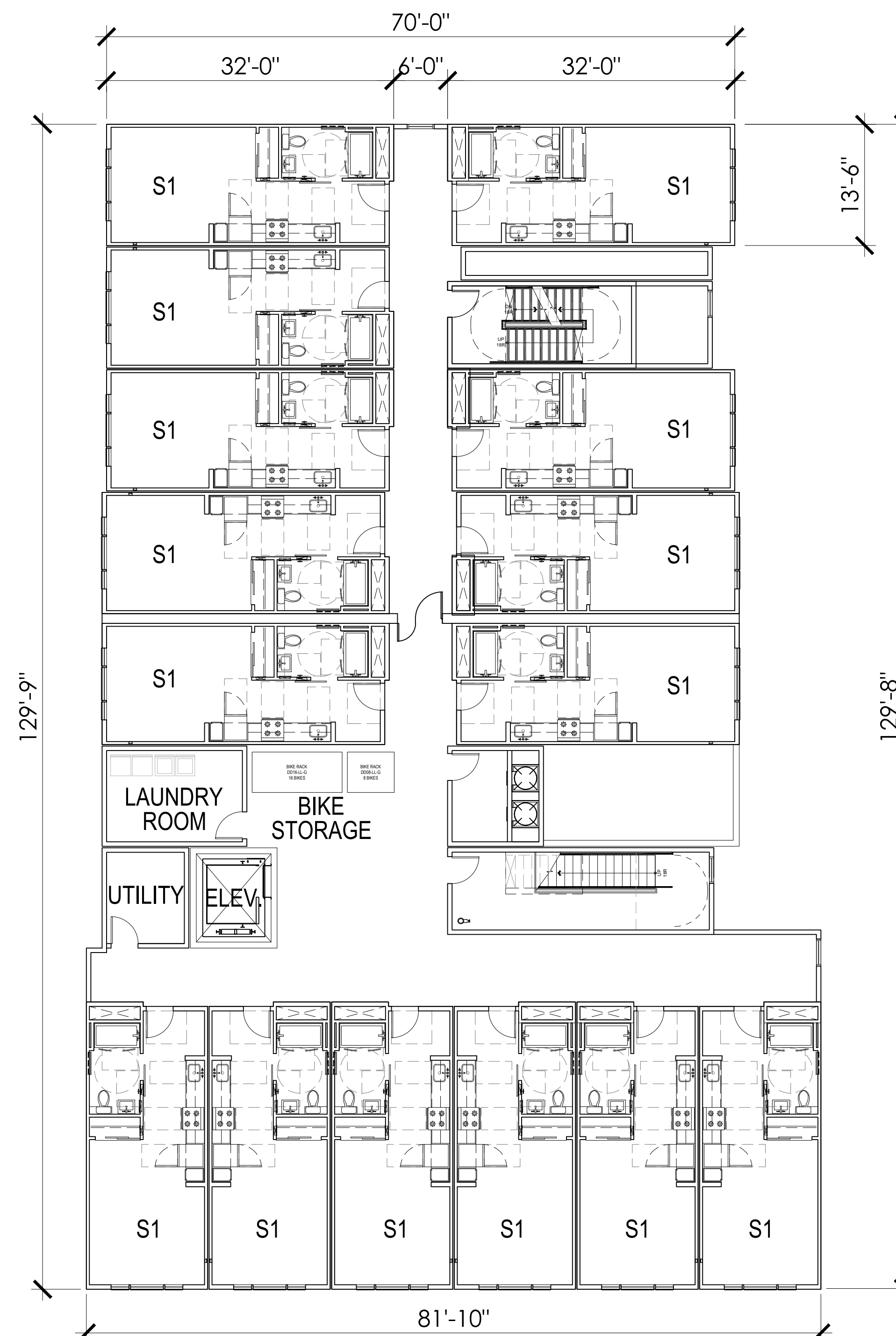
SECTION B



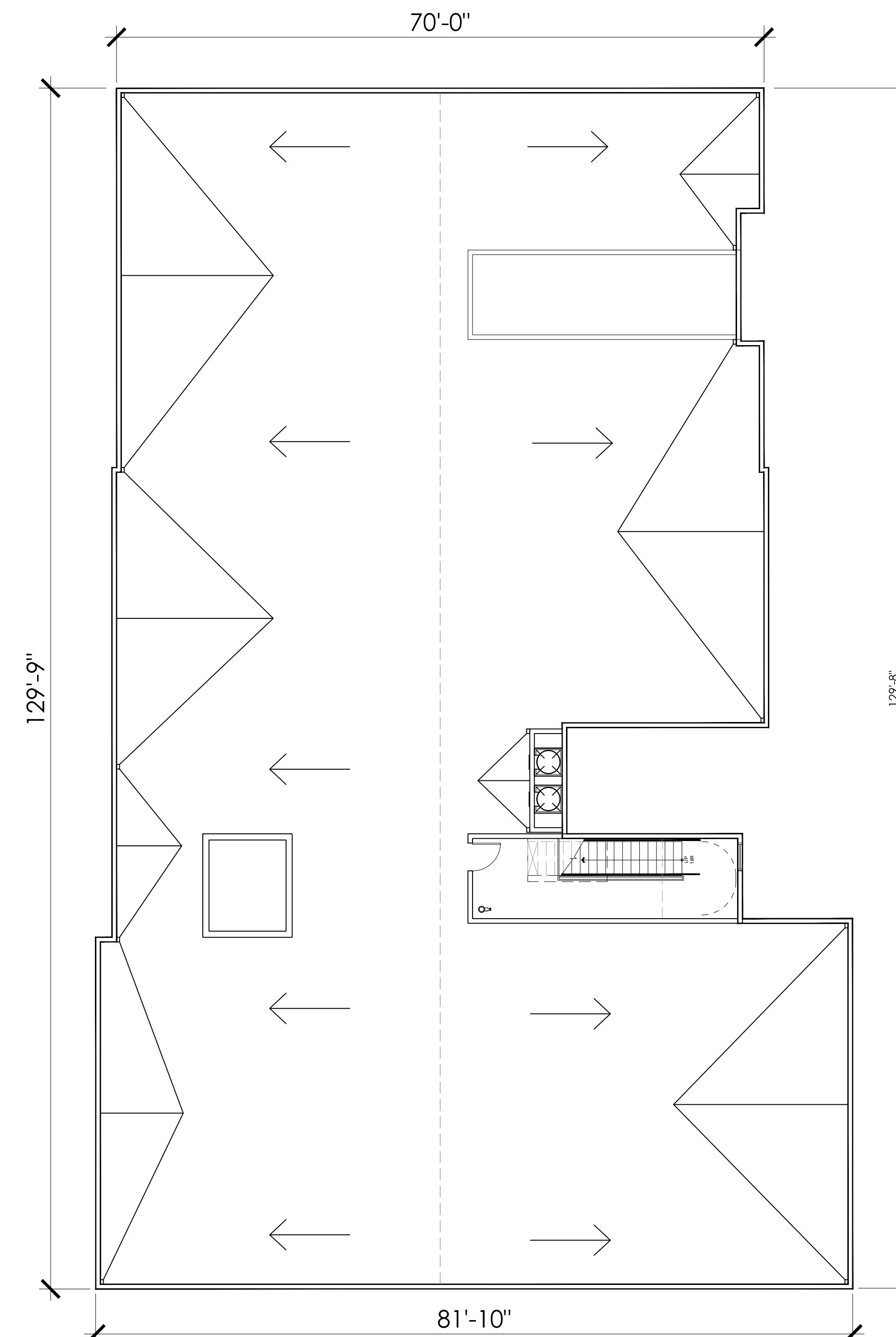




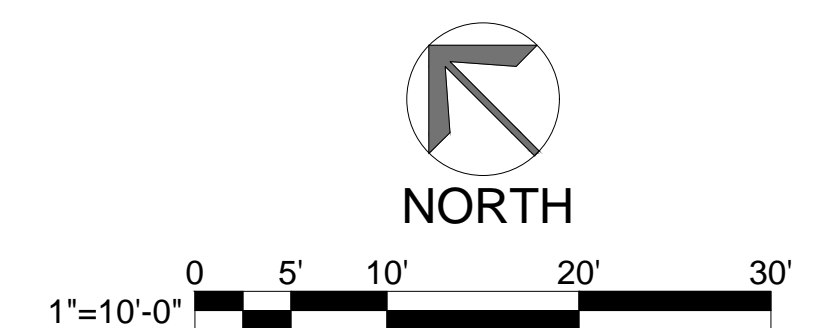
GROUND LEVEL



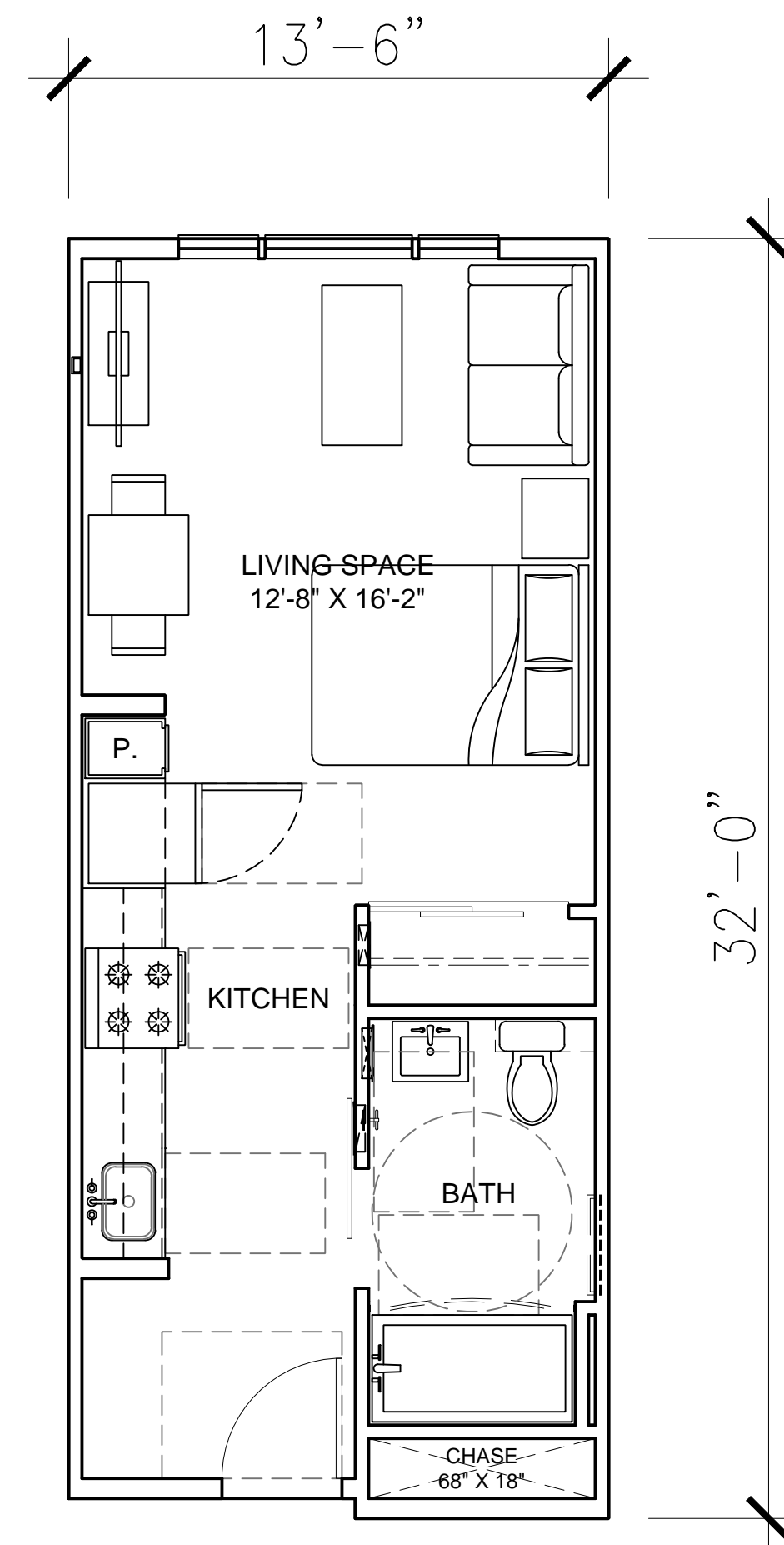
TYPICAL UPPER LEVEL



ROOF LEVEL







UNIT S1  
 AFFORDABLE STUDIO - 1 BATH  
 UNIT AREA: 416 SQ. FT.



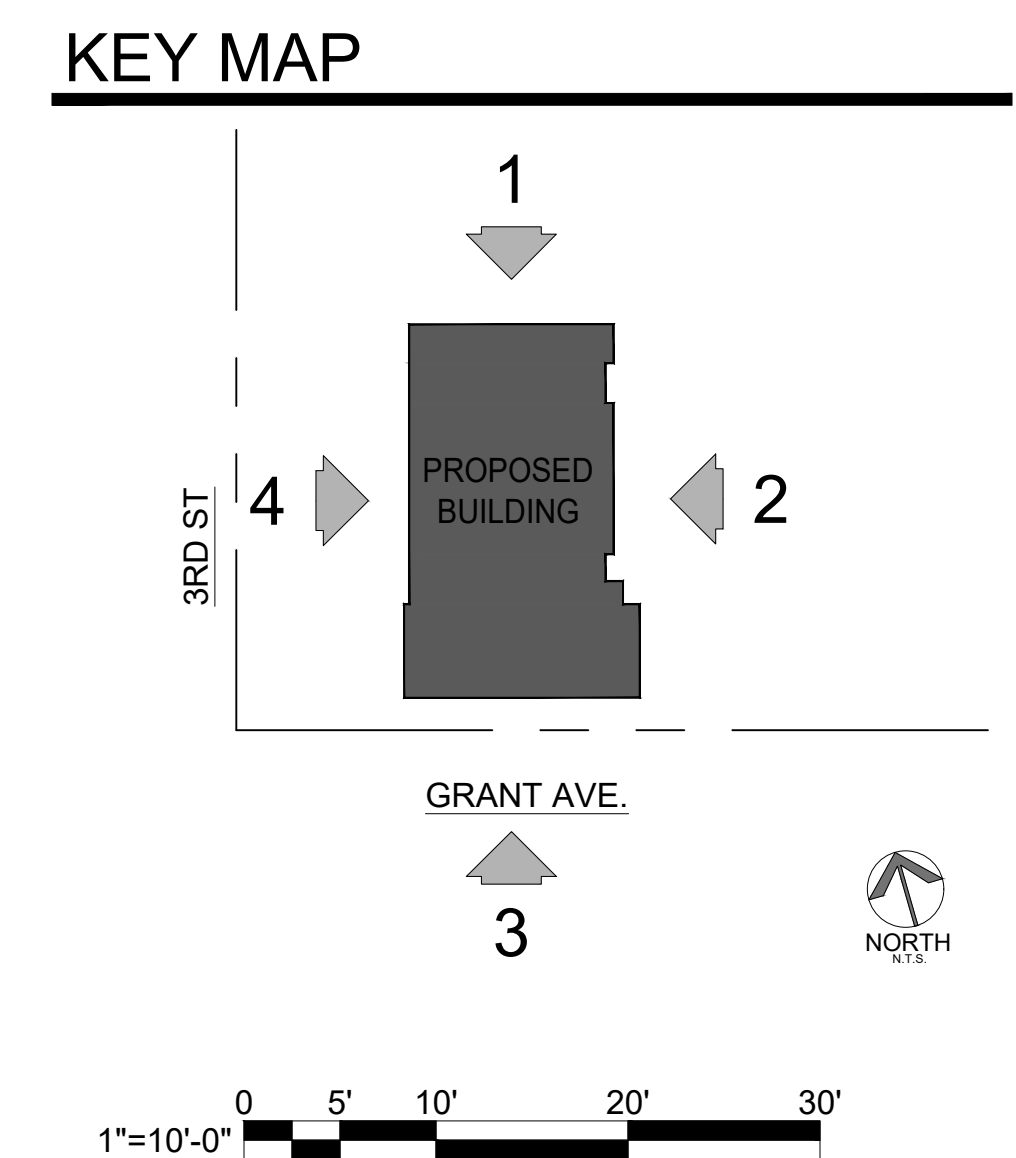




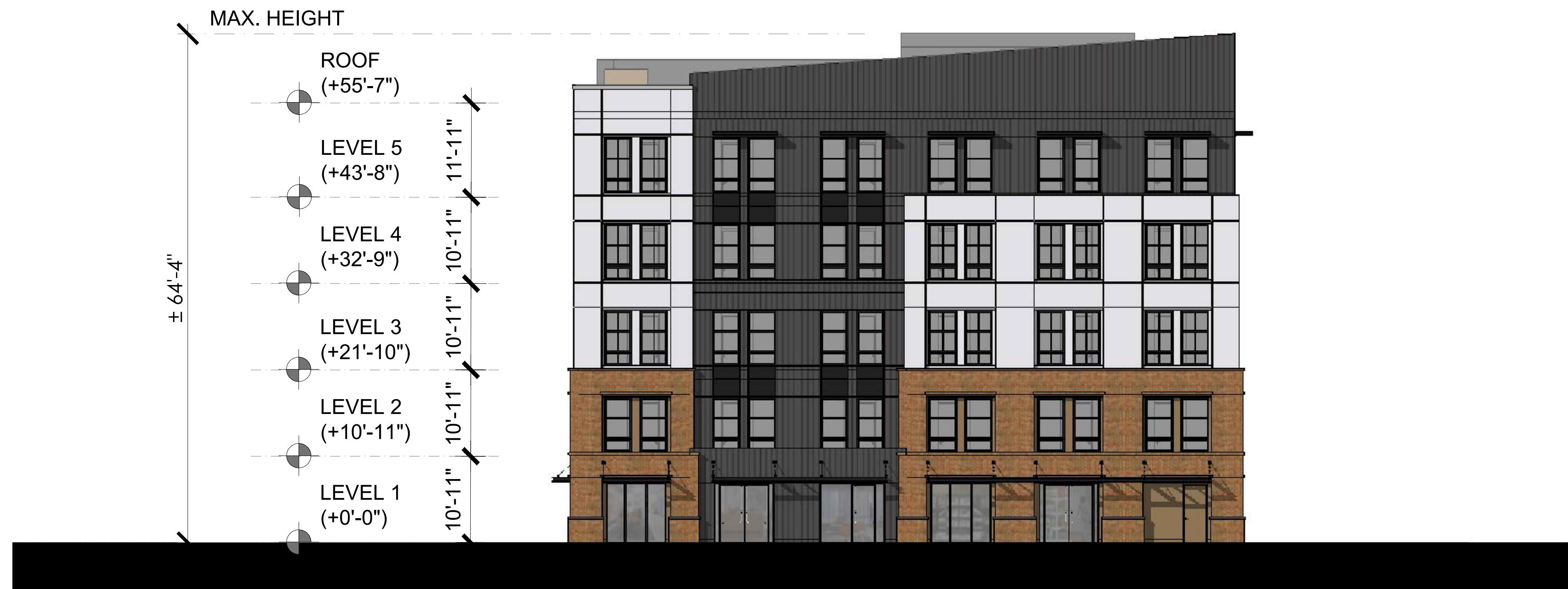
NORTH ELEVATION 1



EAST ELEVATION 2



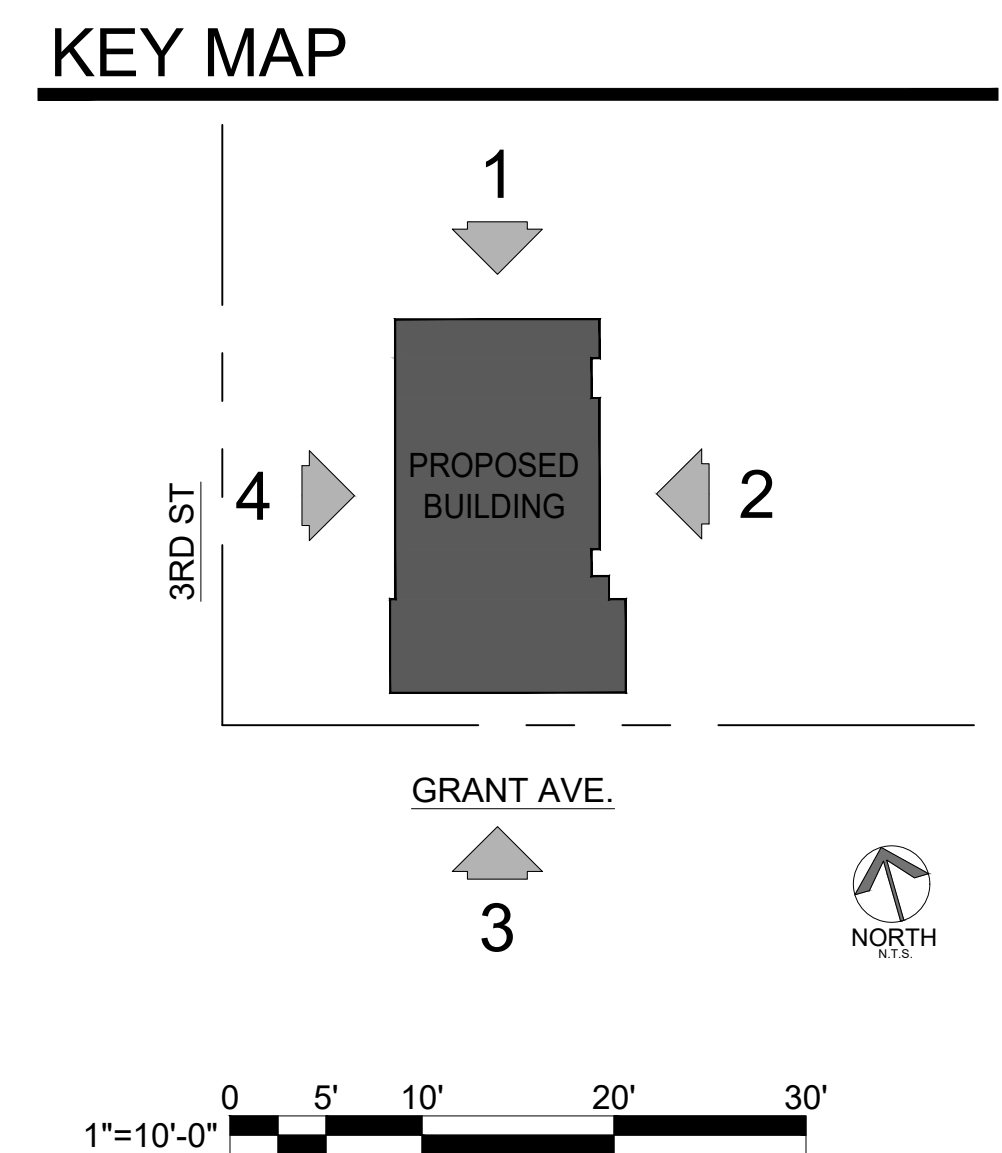




SOUTH ELEVATION 3



WEST ELEVATION 4







VIEW FROM CORNER OF GRANT AND SECOND STREET 1



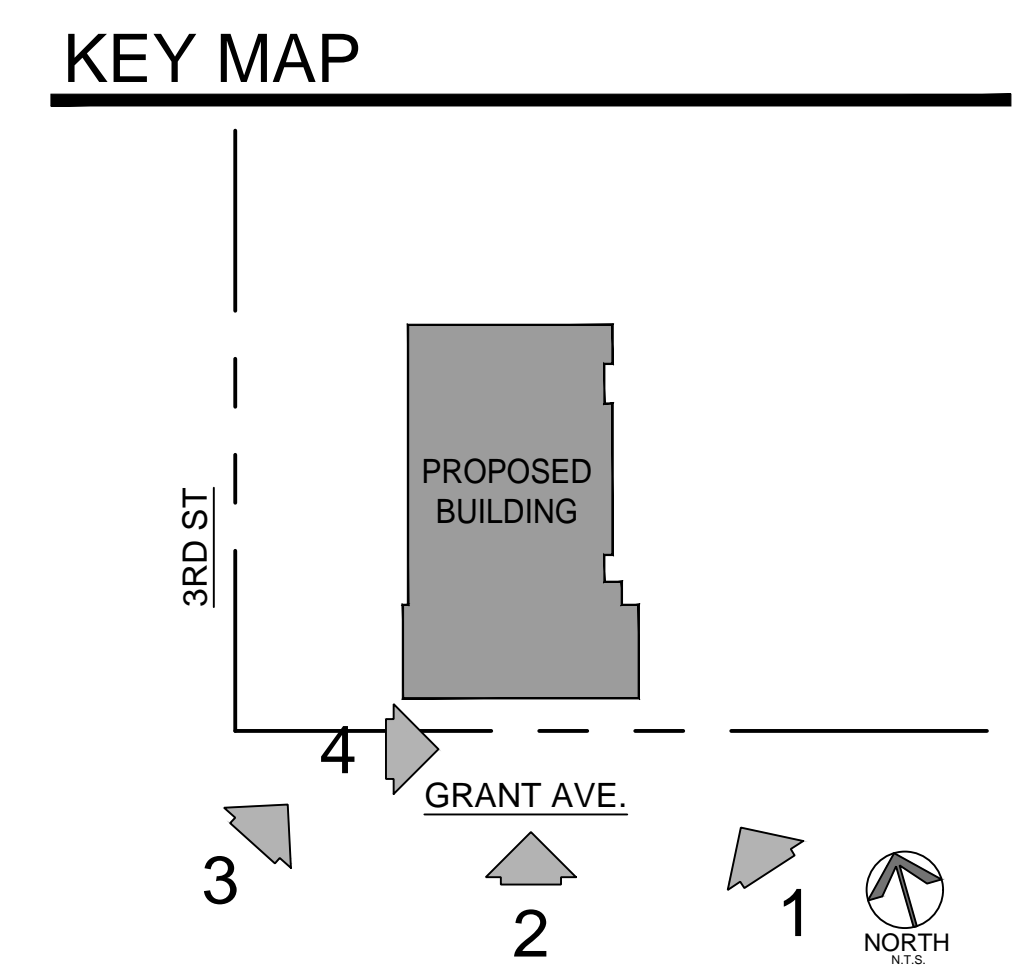
SOUTH ELEVATION VIEW FROM GRANT STREET 2



VIEW ON GRANT STREET LOOKING NORTH - EAST 3



VIEW ON GRANT STREET LOOKING NORTH - WEST 1







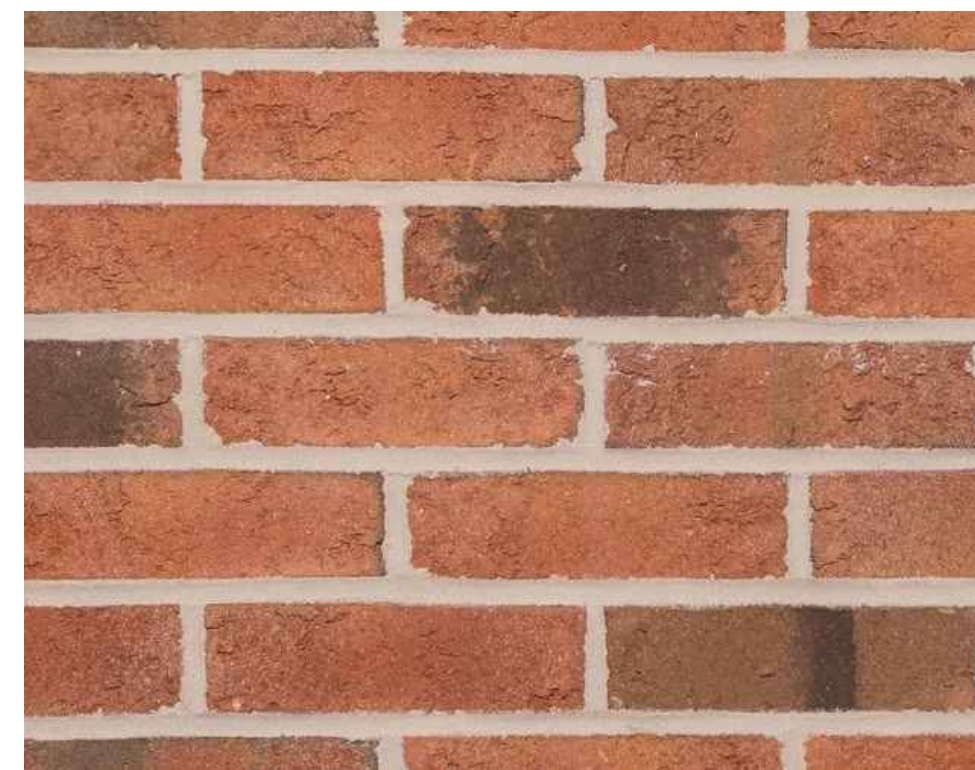
SOUTH ELEVATION



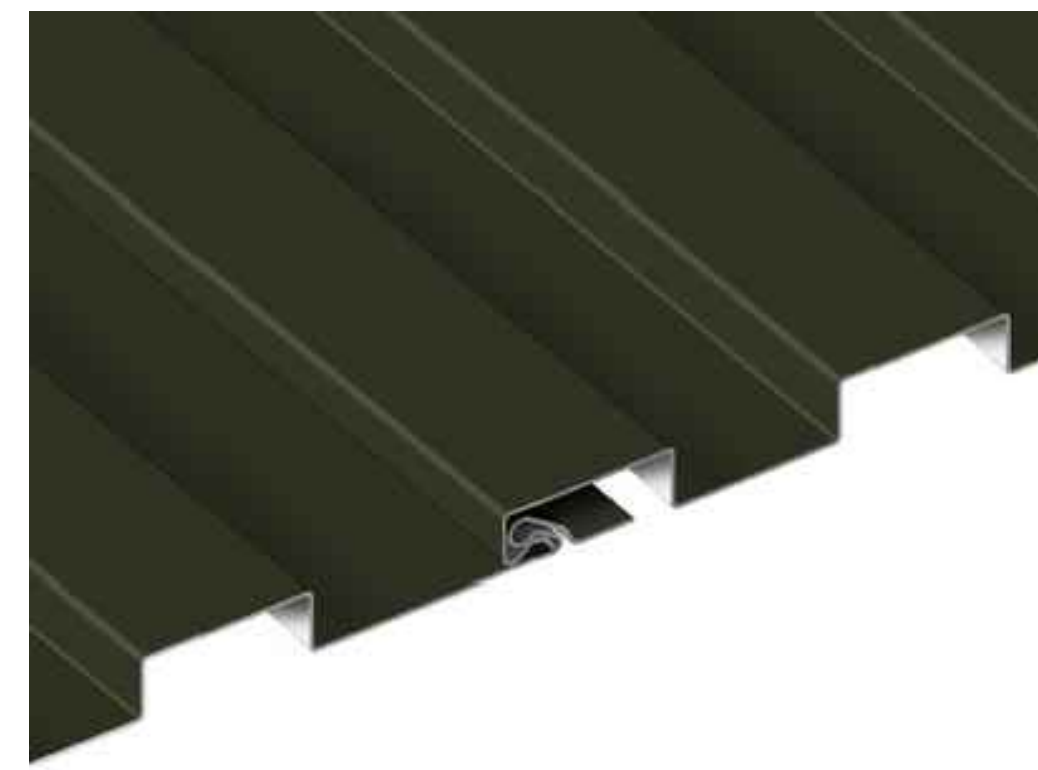
EAST ELEVATION



1. STUCCO  
LIGHT SAND FINISH



5. BRICK SIDING  
GENERAL SHALE - MONTICELLO



3. METAFOR  
RIBBED METAL PANEL BLACK OR EQUAL



4. VINYL WINDOWS  
BLACK OR EQUAL



1. ALUMINUM STOREFRONT WINDOW  
BLACK OR EQUAL



6. METAL AWNING  
BLACK OR EQUAL

CONCEPTUAL MATERIAL AND COLOR BOARD

A6.0

GRANT AVENUE & 3RD STREET  
AMG & ASSOCIATES

NOVATO, CA.

DATE: 05-10-2021  
JOB NO.: 2020-296

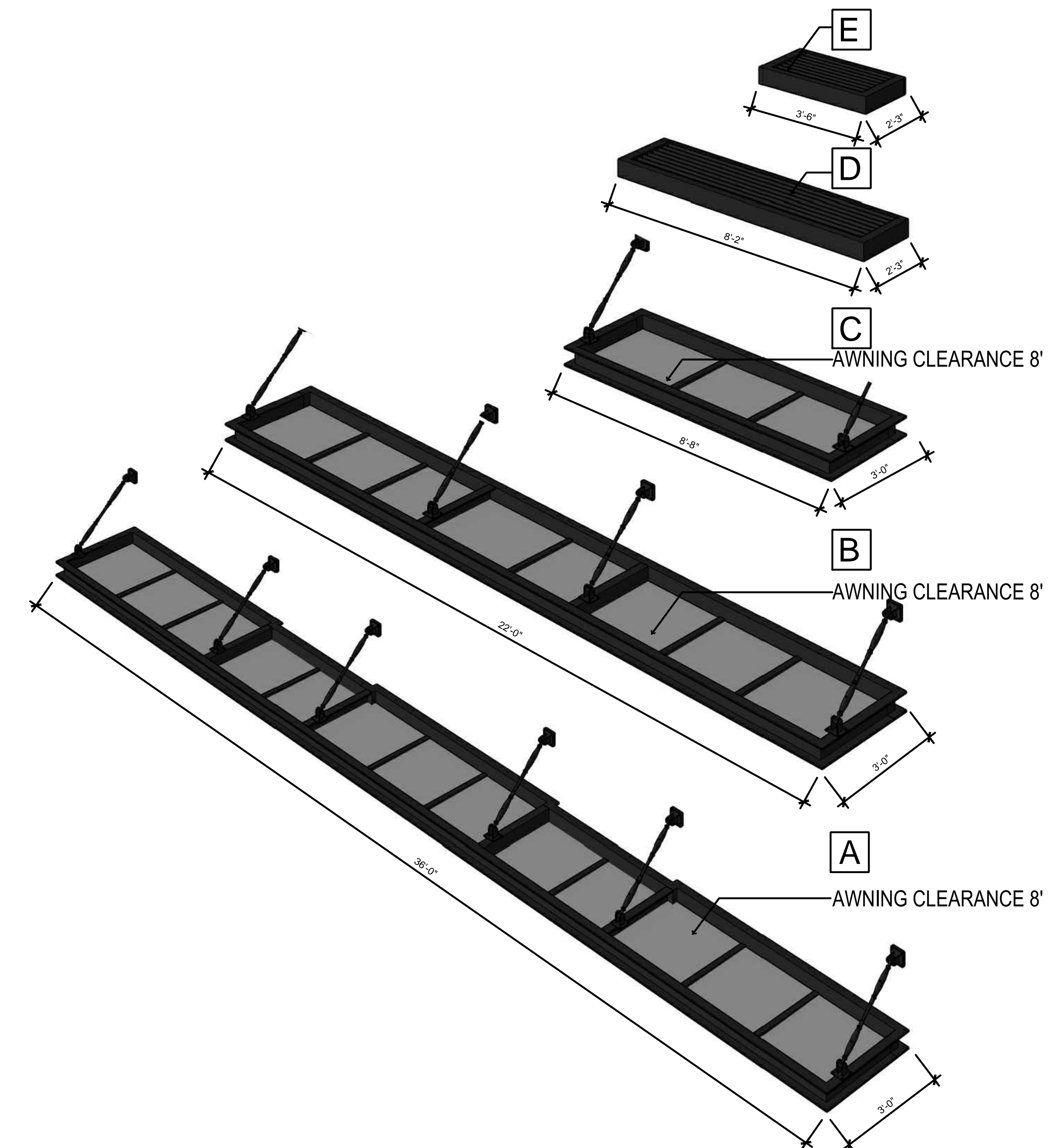
AO ARCHITECTS  
144 NORTH ORANGE ST., ORANGE, CA 92866  
(714) 639-9860



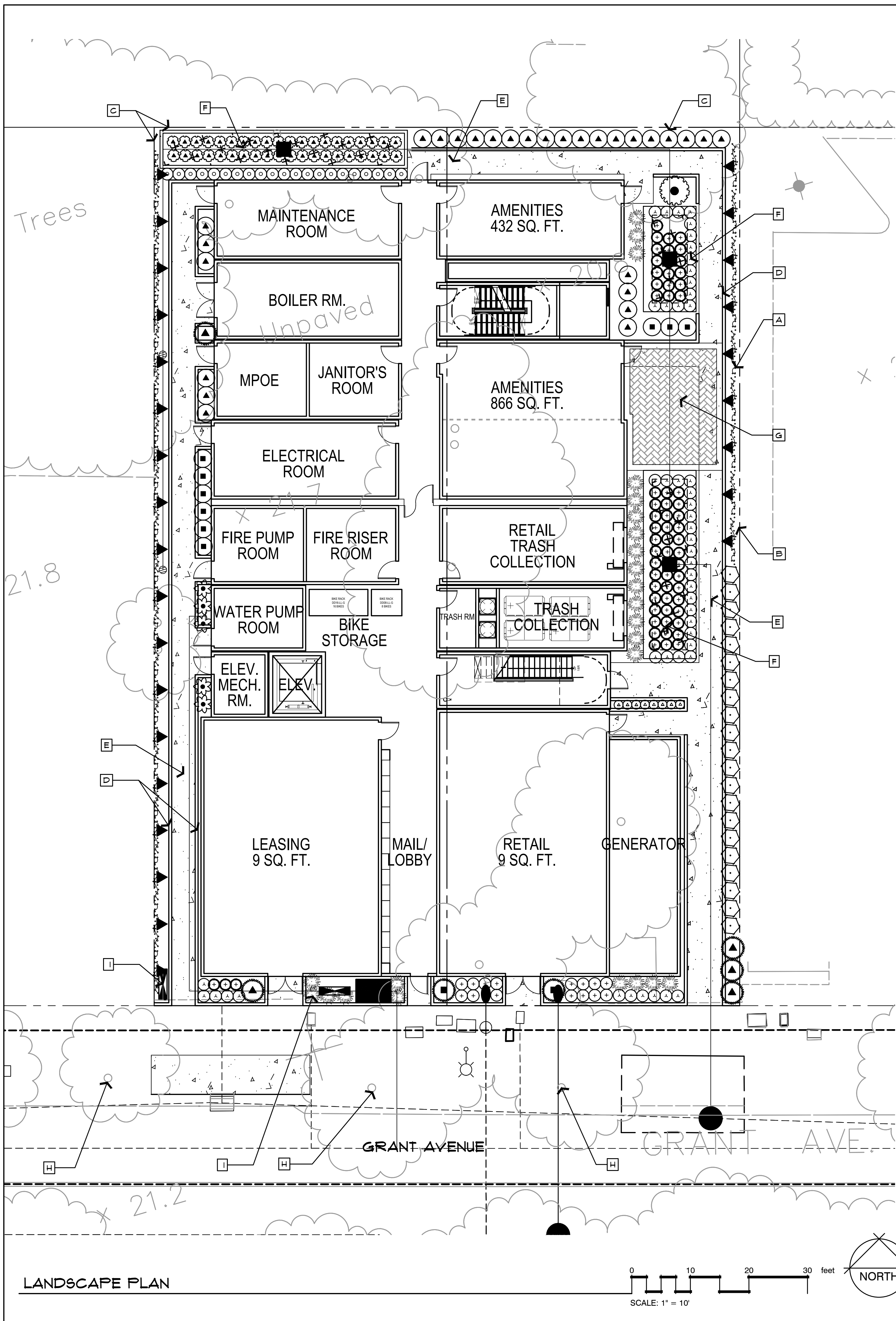


**GENERAL NOTES**

THE USE OF AWNINGS SHALL ALLOW FOR INDIVIDUAL EXPRESSION OF EACH BUSINESS WITH COMPATIBLE VARIATIONS IN COLOR AND GRAPHICS, COMPATIBLE WITH THE DOWNTOWN STYLE GUIDELINES.







**PLANT SCHEDULE**

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	2021-05-05 QTY	08-09 PF	HxW
	ACER PALMATUM DISSECTUM 'CONTORTA'	GREEN CUTLEAF JAPANESE MAPLE	5 GAL	1	M	5x6'
	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	5 GAL	21	L	15x5'
	MAHONIA REPENS	CREeping OREGON GRAPE	1 GAL	9	L	2x3'
	NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	5 GAL	28	L	3x2'
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
	AQUILEGIA X	HYBRID COLUMBINE	5 GAL	8	L	2x2'
	ASPIDISTRA ELATIOR	CAST IRON PLANT	5 GAL	21	M	3x2'
	DIETES IRIDOIDES	FORTNIGHT LILY	5 GAL	5	L	3x3'
	ERIGERON KARVINSKIANUS 'PROFUSION'	SANTA BARBARA DAISY	1 GAL	15	L	1x2'
	TULBAGHIA VIOLACEA 'TRICOLOR'	TRICOLOR SOCIETY GARLIC	1 GAL	5	L	2x2'
STORM WATER MANAGEMENT PLANTINGS	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
	ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW	1 GAL	48	L	2x2'
	CAREX BARBERAE	SANTA BARBARA SEDGE	1 GAL	64	L	2x2'
	MUHLENBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	5 GAL	2	L	3x4'
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	40	L	2x2'
VINES	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	21	M	1x5'+
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
	FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	SISKIYOU BLUE FESCUE	1 GAL	24	L	2x2'

PF: WUCOLS IV SPECIES EVALUATION LIST, V.2014  
WUCOLS REGION I NORTH CENTRAL COASTAL SUNSET ZONE 17

**PLANT SCHEDULE NOTES:**

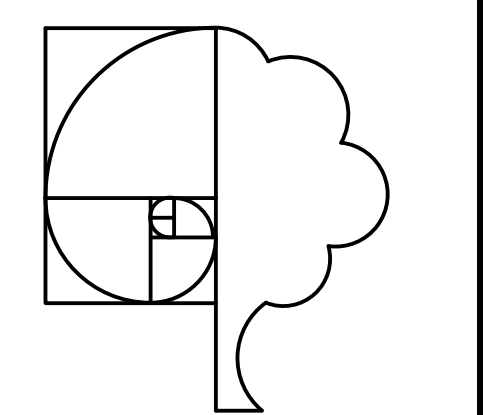
CONTRACTOR TO VERIFY ALL QUANTITIES FROM PLAN. PLANT LEGEND IS FOR REFERENCE ONLY.  
NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

**PLANTING NOTES:**

- PLACE 2" DEPTH 3/4" 'SONOMA GOLD' CRUSHED ROCK OVER LANDSCAPE FABRIC UNDER STAIRWAYS AND UTILITY ACCESS AREAS. INSTALL 'PERMALOC CLEAN LINE' 3/8" X 4" ALUMINUM EDGING WITH MILL FINISH (MF) BETWEEN CRUSHED ROCK AND ADJACENT SHRUB BED.
- PLACE 2-3" SIZE RIVER WASHED COBBLE OVER LANDSCAPE FABRIC WHERE INDICATED.
- INSTALL 'PERMALOC CLEAN LINE' 3/8" X 4" ALUMINUM EDGING WITH MILL FINISH (MF) BETWEEN ROCK, LAWN AND ADJACENT SHRUB BEDS. STAKE AT EVERY PREFORMED LOOP WITH 12" STAKES SUPPLIED FROM MANUFACTURER WITH PRODUCT.
- PLACE A 12" WIDE BAND OF 2-3" SIZE COBBLE OVER LANDSCAPE FABRIC AROUND THE PERIMETER OF BIO-RETENTION AREAS AND VEGETATED SWALES TO INTERCEPT DEBRIS PRIOR TO ENTERING INTO THE FILTRATION AREA. NO EDGING REQUIRED.
- SOL PREPARATION AND AMENDING:
  - AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOILS REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.
  - BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.
    - NITROGEN STABILIZED AND IRON FORTIFIED COMPOST: PER SOIL ANALYSIS RECOMMENDATIONS, OR 4 CY FOR BID PURPOSES
    - FELTILIZED FERTILIZER (1-0-0) 10 LBS, OR AS PER SOIL ANALYSIS RECOMMENDATIONS
    - SOL SULFUR: PER SOIL ANALYSIS RECOMMENDATIONS
    - GYPSPUM: 100 LBS
  - CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL
  - DE-ROCK AREA TO BE PLANTED BY USING A MECHANICAL ROCK PICKER. ALL ROCKS LARGER THAN 1 INCH IN DIAMETER ARE TO BE REMOVED.
  - INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS, MANUFACTURED OF POLYPROPYLENE, 28 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD. DEWITT PRO-5, OR EQUAL SECURE FABRIC SEGMENTS, TO SOIL, WITH 6"x1"x6" STEEL 'U' SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.
  - INSTALL 3" DEPTH FIR BARK MULCH OVER THE FILTER FABRIC ON ALL SHRUB AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM PINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.

**PLAN NOTES:**

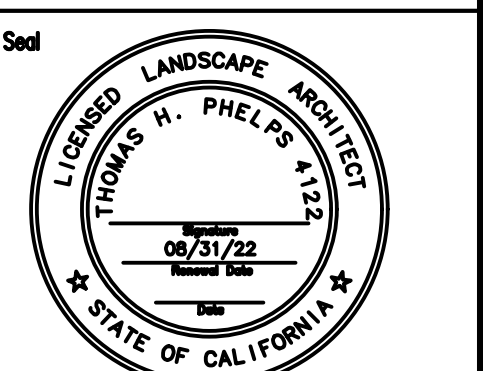
- NEW 6' WOOD FENCE
- EXISTING BUILDING
- EXISTING FENCE TO REMAIN
- 6" CONCRETE CURB
- CONCRETE WALK WAY
- STORM WATER TREATMENT AREA, REFER TO THE CIVIL ENG. PLANS
- ACCENT PAVING AT OUTDOOR PATIO, WITH BISTRO TABLE AND BENCH
- EXISTING STREET TREE TO REMAIN
- SCREEN UTILITIES WITH PLANT MATERIAL WHERE ABLE



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**GRANT AVE AT 3RD STREET**  
**AMG & ASSOCIATES**  
 GRANT AVE. AT THIRD STREET  
 NOVATO, CALIFORNIA

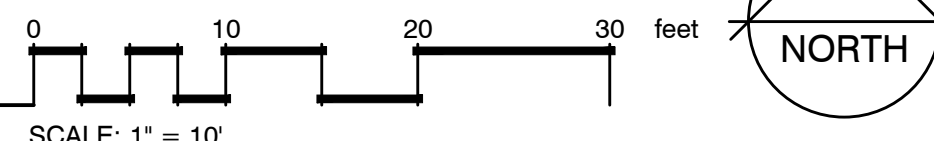
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LANDSCAPE PLAN



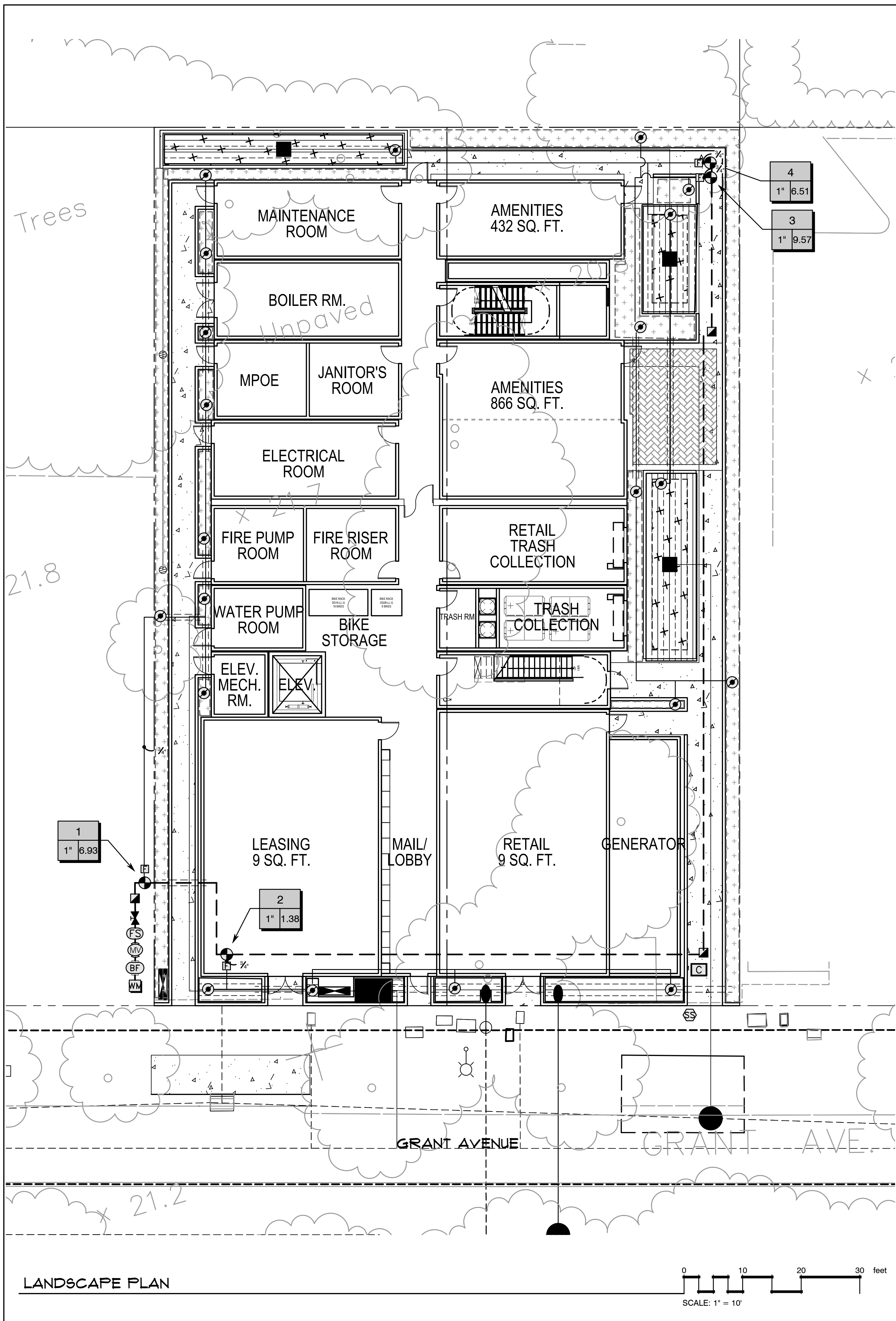
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Project Mgr: THP      Sheet No.:  
 Drawn By: THP  
 Scale: 1"=10'  
 Date: 05 MAY 2021  
 File Name: 18-047 of \_\_\_\_\_ sheets

LANDSCAPE PLAN







**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
0.25 0.50	HUNTER RZWS-SLEEVE-18-CV 25 18" LONG RZWS WITH FILTER FABRIC SLEEVE, 25GPM OR 50GPM BUBBLER OPTIONS, CHECK VALVE, 1/2" SWING JOINT FOR CONNECTION TO 1/2" PIPE
●	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
Ⓢ	HUNTER ECO-ID ECO-ID: 1/2" FPT CONNECTION WITH 12-60 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER SJ SWING JOINT.
[+ + + +]	AREA TO RECEIVE DRIP EMITTERS HUNTER HE-B POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB. COLOR CODED EMITTERS FOR FLOW RATES OF 0.5, 1.0, 2.0, 4.0, AND 6.0 GPH. CAN BE INSERTED INTO 1/2" AND 3/4" TUBING AND HAVE PRESSURE COMPENSATING FROM 15-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE. EMITTER NOTES: 40HE-B EMITTERS (1 ASSIGNED TO EACH 1 GAL PLANT) 40HE-B EMITTERS (2 ASSIGNED TO EACH 5 GAL PLANT) 40HE-B EMITTERS (3 ASSIGNED TO EACH 15 GAL PLANT)
[     ]	AREA TO RECEIVE DRIFLINE HUNTER ECO-WRAP-11 0.6GPH FLEECE WRAPPED INLINE EMITTER TUBING, WITHOUT THE BLANKET ECO-MAT. EVENLY DISPENSES WATER FROM UNDER THE SURFACE. EMITTERS AT 12" O.C. DRIFLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY PLD-LOC FITTING.
[     ]	AREA TO RECEIVE DRIFLINE HUNTER HDL-09-18-CV HDL-09-18-CV: HUNTER DRIFLINE W/ 0.9 GPH EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING W/ BLACK STRIPING. DRIFLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
●	HUNTER ICV-G 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
■	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1" NPT INLET, 2-PIECE BODY.
⊗	HOSE BIBB HB CHAMPION #B402
✕	NIBCO T-113 CLASS 125 BRONZE GATE SHUT OFF VALVE WITH WHEEL HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"
Ⓜ	HUNTER ICV-G MASTER VALVE 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
Ⓟ	FEBCO 025Y 1" REDUCED PRESSURE BACKFLOW PREVENTER

**VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICITION LOSS	PSI	PSI @ POC	PRECIP
1	HUNTER ICV-G	1"	AREA FOR DRIP EMITTERS	6.93	40	1.74	44.44	60.31	0.21 IN/H
2	HUNTER ICV-G	1"	AREA FOR DRIFLINE	1.38	40	0.04	42.03	55.65	0.65 IN/H
3	HUNTER ICV-G	1"	AREA FOR DRIP EMITTERS	9.51	40	1.81	44.83	63.41	0.95 IN/H
4	HUNTER ICV-G	1"	AREA FOR DRIFLINE	4.49	40	0.46	42.9	51.89	0.96 IN/H

**IRRIGATION SCHEDULE**

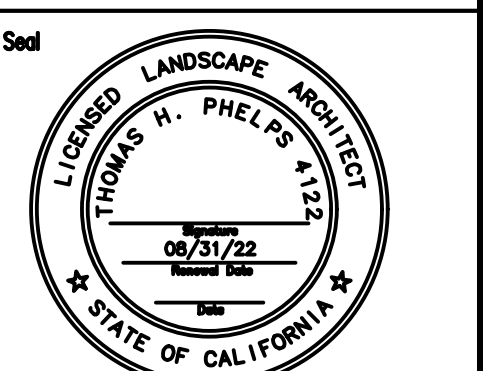
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
C	HUNTER IC-0600-FL MODULAR CONTROLLER, 6 STATIONS, OUTDOOR MODEL, PLASTIC CABINET, COMMERCIAL USE.
Ⓢ	HUNTER W6S-9EN WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER X-CORE AND ACC CONTROLLERS, INSTALL AS NOTED. INCLUDES GUTTER MOUNT BRACKET. MODULE NOT INCLUDED.
FS	CREATIVE SENSOR TECHNOLOGY FSI-T10-001 1" (25MM) PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS, CUSTOM MOUNTING TEE AND ULTRA-LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE W/ALL IRRIGATION CONTROLLERS. FLOW RANGE: .06-52 GPM.
I	HUNTER HY-100 1" MPT X MPT THREADED INLET AND OUTLET FILTER WITH 150 MESH STAINLESS STEEL SCREEN
WM	WATER METER 1"
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
---	IRRIGATION MAINLINE: PVC SCHEDULE 40
---	PIPE SLEEVE: PVC SCHEDULE 40

**CRITICAL ANALYSIS**

GENERATED:	2021-05-05 08:56
P.O.C. NUMBER: 01	
WATER SOURCE INFORMATION:	
FLOW AVAILABLE	
WATER METER SIZE:	1"
FLOW AVAILABLE:	37.50 GPM
PRESSURE AVAILABLE	
STATIC PRESSURE AT POC:	68.00 PSI
ELEVATION CHANGE:	5.00 FT
SERVICE LINE SIZE:	3"
LENGTH OF SERVICE LINE:	20.00 FT
PRESSURE AVAILABLE:	66.00 PSI
DESIGN ANALYSIS	
MAXIMUM STATION FLOW:	9.51 GPM
FLOW AVAILABLE AT POC:	37.50 GPM
RESIDUAL FLOW AVAILABLE:	27.93 GPM
CRITICAL STATION:	3
DESIGN PRESSURE:	40.00 PSI
FRICITION LOSS:	1.70 PSI
FITTINGS LOSS:	0.11 PSI
ELEVATION LOSS:	0.00 PSI
LOSS THROUGH VALVE:	2.96 PSI
PRESSURE REQ. AT CRITICAL STATION:	44.82 PSI
LOSS FOR FITTINGS:	0.16 PSI
LOSS FOR MAIN LINE:	1.60 PSI
LOSS FOR POC TO VALVE ELEVATION:	0.00 PSI
LOSS FOR BACKFLOW:	12.40 PSI
LOSS FOR MASTER VALVE:	2.96 PSI
LOSS FOR WATER METER:	1.41 PSI
CRITICAL STATION PRESSURE AT POC:	63.41 PSI
PRESSURE AVAILABLE:	66.00 PSI
RESIDUAL PRESSURE AVAILABLE:	2.59 PSI

**GRANT AVE AT 3RD STREET**  
**AMG & ASSOCIATES**  
 GRANT AVE. AT THIRD STREET  
 NOVATO, CALIFORNIA

Sheet Title  
**LANDSCAPE PLAN**



No.  Date Revision

Project Mgr: THP Sheet No: **L2**

Drawn By: THP

Scale: 1"=10'

Date: 04 MAY 2021

File Name: 18-047 of \_\_\_\_\_ sheets