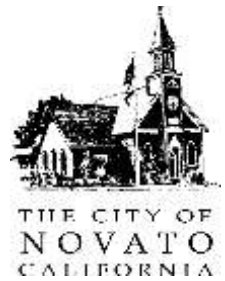


DESIGN REVIEW COMMISSION STAFF REPORT

MEETING: April 19, 2017

STAFF: Matt Gilster, Planner II
mgilster@novato.org; (415) 493-4708

SUBJECT: **Pacheco Plaza Chase Bank
Design Review Commission
File: P2016-071; Design Review
APN: 160-190-13, 402 Ignacio Boulevard**



922 Machin Avenue
Novato, CA 94945-3232
(415) 899-8900
FAX (415) 899-8213
www.novato.org

REQUESTED ACTION

Conduct a public hearing and consider taking action on the proposed site design, circulation, building massing, and architecture for the demolition and replacement of an existing vacant bank building and drive-thru ATM with a 3,470 square foot single story bank building with a drive-thru canopy and ATM. The building will be 22 feet tall at its highest point measured from ground level. 28 parking stalls will be provided. The project site is located in the Pacheco Plaza Shopping Center at 402 Ignacio Boulevard, APN: 160-190-13.

PROJECT SETTING & SITE DESCRIPTION

The project site is an 8.1 acre (355,767 square feet) lot that fronts onto Ignacio Boulevard. The project site is within the Pacheco Plaza Shopping Center, which includes four buildings that currently accommodate 20 commercial tenant spaces, landscaping, onsite parking, public art, open seating and gathering areas. The combined floor area of the commercial buildings in the shopping center is approximately 71,750 square feet, including the proposed bank building replacement. The shopping center was remodeled in 2010 and staff often hears compliments that it now reflects one of Novato's more modern and attractive/inviting commercial centers.



The south west end of the shopping center provides ingress and egress from Ignacio Boulevard and is developed with two freestanding “pad” bank buildings. The subject bank building is located on a triangular area of the shopping center, west of the south entrance to the center. The project area is bounded by Ignacio Boulevard on the south/west, existing center parking to the east and existing parking to the north. The existing bank building was developed in 1980 as an amendment to the Pacheco Plaza Precise Development Plan to allow a 4,000 square foot free standing bank building. The existing bank building provides 14 parking spaces, a covered drive through ATM. The building currently sits empty.

DESIGN REVIEW WORKSHOP

On November 2, 2016, the Design Review Commission ("DRC") conducted a public workshop to review the revised preliminary site design, and architecture proposed for the Pacheco Plaza Chase Bank project. At the workshop, the DRC made several notable comments and suggestions regarding the project's site design, massing, and architecture, including:

- Recommendation that the trash enclosure be moved to a more appropriate location.
- Recommended the building provide more planters and green walls on the front elevations to match existing shopping center.
- Encouraged applicant to consider a trellis design to reflect the trellis design applied on other locations within the shopping center.
- Recommended that the application consider adding a more defined roofline and reducing the pitch of the roof design.
- Encouraged the applicant to reach out to the absent commissioners for further comments on project details.

A copy of the minutes of the November 2, 2016, workshop is attached for DRC reference.

PROJECT DESCRIPTION

The applicant, Chase, has submitted plans for the demolition and replacement of the existing 4,000 square foot vacant bank building and drive-thru ATM with a 3,470 square foot single story bank building with a drive-thru canopy and ATM. The existing, vacant bank building is 21 feet tall. The proposed bank building will be 22 feet tall at its highest point from ground level. Parking will be increased from 14 to 28 stalls. There will be 2,430 square feet of landscaping on site which will be installed within planter areas around the building and parking perimeter. Four bicycle parking stalls will be provided onsite. Pedestrian access to the bank will be installed from an existing sidewalk along the Ignacio Boulevard frontage. Four pole lights will be installed to illuminate the parking lot and drive through ATM.

Revisions

The applicant has made several design revisions to the project in response to the comments and suggestions made by the DRC at the second public workshop. In summary the project changes include:

- The removal of the proposed trash enclosure, existing on site trash bins will continue to be utilized.
- Increase parking count by 14 to 28 spaces provided, extra clean air vehicle parking space included where previous trash enclosure was located.
- Building pop-outs are reduced in size to allow for additional landscaping and inclusion of a new curved trellis design along the south elevation of the building.
- Additional planter areas and green walls added along west, north and east side of the building.
- Lowered roof height from 27 feet to 22 feet. Removed parapets and towers from design.
- Added 5 foot 8 inch roof overhang to elevations.
- Mansard roof design added to screen rooftop mechanical units.
- Lowered tile veneer on building elevations.

The applicant also reached out to Design Review Commissioner Patrick MacLeamy and has incorporated his comments on the initial design into the project revisions.

Development Entitlements

The following city approvals are required for the proposed project:

- Design Review: Request to obtain an approval from the Design Review Commission regarding the project's site design, architecture, and landscaping. Design review is required for commercial developments.

Site Plan, Building Orientation, and Massing

The proposed site plan incorporates a similar circulation pattern and building orientation as the existing building. However, the new, smaller, design creates more room for parking and allows for entrances into the bank from the north and south. The massing of the proposed structure differs from the existing structure by not including a covered area for the drive through ATM thus reducing the overall building footprint.

Architecture

The proposed building mass, architecture and details of the building have been designed to be consistent with the design of the surrounding shopping center. This includes architectural details such as green walls, Opaque Solar Filmed windows, Pennsylvania Bluestone veneer, and Landmark Premium Lifetime Shingles to match the rest of the Pacheco Plaza rooftops.

The colors of the building are also consistent with the rest of the shopping center, which include Sherwin Williams Latte, and Centria 154 “Dark Bronze”. The proposed drive through canopy will have matching materials and colors.

Landscaping

Landscape areas are proposed adjacent to Ignacio Boulevard, adjacent to the Plaza entry, and within planters located around the building and parking spaces. The landscaping proposed for the site consists of drought tolerant plants that will effectively integrate the new structure into the surrounding shopping center, provide adequate shade, and screen the drive through areas. Nine (9) new trees will be installed, species include Chinese Evergreen Elm and Crepe Myrtle. Trees will be located within the existing shopping center parking lot on the north side of the building and adjacent to the drive through parking on the south side of the building.

Twelve (12) trees are proposed to be removed around the work area as they are either within the new building footprint, sidewalk, or parking lot. Trees to be removed consist of Yew Pine, Honey Locust, Maple, Breath of Heaven, and Cedar, Olive Chinese Pistache. Only 1 heritage tree (Canary Pine) will be removed.

BACKGROUND

Property Owner:	Pacheco Plaza LLC
Applicant:	JP Morgan Chase
Assessor's Parcel No.:	160-190-13
Project Area:	8 acres

General Plan Designation: Neighborhood Commercial (CN); Maximum FAR of 0.40

Existing Zoning:	Planned District (PD)
Existing Use:	Shopping Center
Adjacent Zoning/Uses:	North- high/medium density residential; (PD) South- medium density residential; (PD) East- office/medium density residential; (PD) West- open space/low density residential; (PD)

HISTORY OF ENTITLEMENTS AT THIS SITE:

August 1964- Use Permit approval for 56,000 square foot shopping center

September 1980- Precise Development Plan amendment approving the development of a

4,000 square foot bank building with drive through ATM.

December 2007- Design Review approval to remodel Pacheco Plaza Shopping Center.

ENVIRONMENTAL ASSESSMENT

The Environmental Coordinator has determined the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 – *Replacement and Reconstruction*. CEQA Guidelines Section 15302 exempts projects in which the new structure substantially conforms to the original structure's size, operations, and capacity.

STAFF ANALYSIS

Design Review and Entitlement Process

Design review is a mandatory process for commercial development. As such, a formal hearing of the Design Review Commission is being held, the applicant is requesting the Commission's final action to either approve or deny the entirety of the project's design, including site plan, architecture, and landscaping.

Neighborhood Meeting: A, noticed, neighborhood meeting was held by the applicant's representatives on October 20, 2016 at the existing vacant bank building in Pacheco Plaza to receive preliminary feedback on the project's design and any related matters. No members of the public attended.

Workshop: A noticed Design Review Workshop was held on November 2, 2016. The Commission reviewed and gave comments and feedback to the applicant on the proposed design of the building. No members of the public attended.

Design Review Findings

The Design Review Commission should consider the proposed building from the perspective of the following uniform design review findings of approval. These are the findings the Design Review Commission will be asked to make when considering the application for formal action. To assist the DRC in making its decision the discussion below lists each design review finding and describes how the proposed project conforms thereto.

Design Review Finding No. 1: The design, layout, size, architectural features and general appearance of the proposed project is consistent with the general plan, and any applicable specific plan and with the development standards, design guidelines and all applicable provisions of this code, including this title and any approved master plan and precise development plan.

1996 General Plan

The 1996 Novato General Plan provides a framework of policies that were adopted to coordinate all major components of Novato's physical development over a 20-year period. These policies serve as a basis to assess whether public and private development proposals are consistent with the General Plan:

The Design Review Commission should consider the Bank's design concepts in light of the design-related policies of the Novato General Plan listed below.

Community Identity Policy 1 Compatibility of Development with Surroundings. Ensure that new development is sensitive to the surrounding architecture, topography, landscaping, and to the character, scale, and ambiance of the surrounding neighborhood. Recognize that neighborhoods include community facilities needed by Novato residents as well as homes, and integrate facilities into neighborhoods.

The Chase Bank will serve the surrounding neighborhoods and visiting shoppers in the Pacheco Plaza Shopping Center. The project was specifically designed to be visually consistent with the rest of the shopping center and provide interesting and attractive architecture and landscaping to traffic passing by on Ignacio Boulevard. The overall project fits in well to the shopping center and will bring new activity and services to the vacant and dated bank structure which currently sits on site today. The project will benefit the existing shopping center by providing 11 additional parking spaces for the busy shopping center and connecting the sidewalk along Ignacio Boulevard to the interior of the shopping center. Proposed landscaping is inclusive of native and drought tolerant plants which are placed on and around the building to create an attractive project site that offers landscaping elements utilized in the rest of the shopping center including green walls and generous planters. While brick and mortar bank buildings are less utilized then they once were this modern proposal utilizes a smaller building which is more inclusive of automated banking facilities and creates a convenient and attractive location for members of the public who still utilize onsite banking. The proposed remodel of the existing bank building is considered to be consistent with CI Policy 1 of the Novato General Plan.

Community Identity Policy 7 Landscaping. Encourage attractive native and drought-tolerant, low-maintenance landscaping responsive to fire hazards.

Discussion: Landscaping proposed for the project site includes native, low maintenance, and drought tolerant plants which fit into the overall character of the site. See the landscaping description section above. Based on the landscaping plans presented and discussed above, the project is considered to be consistent with CI Policy 7.

Community Identity Policy 12 Parking Standards. Reduce the visibility of parking facilities and the amount of land necessary for them to the maximum extent feasible.

Parking facilities for the project site are provided in the main and rear parking lots located in front of and behind the building respectively. Through the proposed site and landscape design visibility of parking areas is reduce both by the proposed building and new vegetation to the maximum extent feasible whereby the project is considered to be consistent with CI Policy 12.

Community Identity Policy 15 Pedestrian Paths. Provide for maximum feasible pedestrian circulation.

The project will create additional pedestrian access from the sidewalk along Ignacio Boulevard to the proposed bank building via a continuous path of travel from the sidewalk to the bank building. Currently there is no such pedestrian access and pedestrians must either walk through landscaping or walk all the way around the shopping center to access the building through the parking lot. With the added pedestrian circulation link, the project is considered to be consistent with CI Policy 15.

Community Identity Policy 32 Public Art. Promote public art that enhances the cultural life of the community.

The project must provide a public art component to comply with Novato Zoning Code Division 19.21 – Art Program. To comply with the public art component the applicant can construct public art as per the requirements of Section 19.21 or pay an in-lieu fee. The applicant has requested to pay an in lieu fee as the project location lacks space for art and the Center already includes public art and attractively appointed gathering areas. Through payment of an in-lieu art fee, which the City can apply to an alternative public art opportunity(s) the project is considered to be consistent with CI Policy 32.

Pacheco Plaza Master Plan Precise Development Plan

The Pacheco Plaza Precise Plan Amendment which approved the existing 4,000 square foot bank building also set a 20 foot building setback from the southern property line along Ignacio Boulevard. The Pacheco Plaza MP/PDP does not set forth further design guidelines for new construction or improvements to the shopping center. Therefore, in accordance with the requirements of the Novato Municipal Code, the development standards of the most similar zone classification are to be used as a guidance where the precise development plan is silent. Given the Neighborhood Commercial Land Use designation of the General Plan for the subject property, the Neighborhood Commercial zoning is the most appropriate to use for any development standards that are not outlined in the PDP. The proposal is consistent with all applicable standards of the Pacheco Plaza MP/PDP.

Zoning Consistency

The table below lists the general standards of the CN Zoning District and special provisions and standards of the Zoning Ordinance that apply to the proposal submitted by MI Architects.

CHASE BANK APPLICABLE ZONING STANDARDS		
	GENERAL COMMERCIAL STANDARD	CHASE PROPOSAL
Maximum FAR	0.40	71,220 = 0.20 FAR
Maximum Lot Coverage	40%	71,220 = 0.2. FAR

Maximum Height	35-feet	22 feet
Minimum Setbacks from Property Line	Front – 20 Side – None Rear - None	Front -40 Side – None Rear – None
Minimum Solid Waste Storage Area	24 sq. ft. solid waste and 24 sq. ft. recyclables	Continue to use existing shared trash/recyclables enclosure onsite.
Art Ordinance	Provide or pay in-lieu fee for art.	Pay in-lieu
Parking	Required vehicle parking spaces: 14 Required bicycle parking spaces: 1	28 proposed (to better serve the entire Center)Bicycle Parking:4 Proposed

Floor Area Ratio

The project site is assigned the Neighborhood Commercial (CN) land use designation of the General Plan. The CN land use designation permits the development of commercial buildings up to a maximum FAR of 0.40, or 141,740 square feet based on the 354,350 square foot shopping center property. The existing shopping center contains approximately 71,750 square feet of commercial floor area, and with the proposed 3,470 square foot bank building the total commercial floor area of the Center would be reduced to approximately 71,220 square feet or 0.20 FAR; still compliant below the maximum FAR.

Parking

Section 19.30 Parking and Loading, requires 1 parking space per every 300 square feet of building floor area for shopping centers with over 30,000 square feet and 1 parking space per every 250 square feet of bank building. The Pacheco Plaza Center currently has 71,750 square feet of floor area which results in 252 required parking spaces. With the revised parking improvements proposed with the bank building the Center will provide a total of 329 parking spaces which is over the City’s requirement. However, based on the current vehicle parking demands at the Center, the additional parking is desirable.

Section 19.30.090 requires bicycle parking to be provided equal to a minimum of 5% of required vehicle spaces. The 3,470 square foot bank building would require one bicycle parking space, four bicycle spaces are proposed. The current proposal would meet and exceed required bicycle parking standards as per the standards of the Novato Municipal Code Section 19.30.

Signs

Section 19.32.030 of the City of Novato Zoning Codes requires all proposed signs to first obtain a sign permit from the Planning Division. The Pacheco Plaza Shopping Center has a Master Sign Plan which sets development standards for all proposed signs within the shopping center. Subsequent to the approval of this application the applicant will submit an application for a sign permit for onsite signs which will be reviewed for conformance with the standards of the Pacheco Plaza Master Sign Plan subject to Planning Division Approval.

Design Review Finding No. 2: The proposed project would maintain and enhance the community's character, provide for harmonious and orderly development, and create a desirable environment for the occupants, neighbors, and visiting public.

Discussion: The Chase Bank Building, as designed, would provide for the harmonious and orderly development of the project site, as well as create a desirable environment for the residents and the at the adjacent developed neighborhoods, and visiting public to Novato. Specific project features that create these positive benefits include:

- Continuation of public sidewalk to allow pedestrian access to the shopping center and bank from Ignacio Boulevard.
- Addition of 14 parking spaces to the Pacheco Plaza Shopping Center, which is a highly trafficked shopping center in Novato.
- Attractive remodel of an existing building that sits at an entry way to a newly remodeled shopping center.
- Creates a viable physical banking location to provide services for the community where a vacant building stood before.
- Create attractive landscaping around the building and parking area which can be viewed by passing traffic on Ignacio Boulevard.
- Enhance the overall attractiveness of the entire shopping center creating a desirable environment for tenants, shoppers, and the general public.

Design Review Finding No. 3: The proposed development would not be detrimental to the public health, safety, or welfare; is not materially injurious to the properties or improvements in the vicinity; does not interfere with the use and enjoyment of neighboring existing or future developments and does not create potential traffic, pedestrian or bicycle hazards.

Discussion: The Chase Bank Building is considered to conform with and advance Design Review Finding No. 3 as follows:

The project plans were referred to public agencies responsible for reviewing and providing services, including the Novato Public Works Department, North Marin Water District, Novato Sanitary District and Novato Fire Protection District. These agencies have submitted comments and/or conditions addressing matters such as emergency vehicle access and fire protection, pedestrian and bicycle access, adequacy of drainage facilities, and water and sewer service. While the construction level plans have yet to be prepared and submitted for final approval, none of the responsible agencies identified issues that would require significant changes to the site and/or building design that, less addressed, represent a detriment to public health, safety, or welfare, nor be materially injurious to project occupants, visitors and surrounding properties or improvements in the vicinity.

Based on these observations, the proposed site design, massing, and conceptual architecture proposed for the Chase Bank is not anticipated to be detrimental to the public health, safety, or welfare, nor materially injurious to surrounding properties or improvements, and would not interfere with the use and enjoyment of existing and future uses or create potential traffic, pedestrian, or bicycle hazards.

Public Notice and Comments-

Notice of the design review workshop was sent to the surrounding neighborhood which includes all property owners within 600 feet of the project site as per the noticing requirements of the City of Novato Municipal Code 19.58. The meeting notice was/is also posted on the City's project web page which can be found at the following web link: novato.org/pachecochase

STAFF RECOMMENDATION

Staff recommends the Design Review Commission take an Action to conditionally approve the site design, architecture, and landscaping plans dated 03/29/2017 prepared by Stantec Architects Inc. for the proposed Chase Bank project located at 402 Ignacio Boulevard, APN 160-190-13 based on the findings and subject to the conditions of approval listed below.

ALTERNATIVES

1. Approve the site design, massing/scale, architecture, and landscape plan for the project as designed and conditioned.
2. Approve the site design, massing/scale, architecture, and landscape plan for the project with recommended revisions incorporated as conditions of approval.
3. Deny the site design, massing/scale, architecture, and landscape plan for the project.
4. Continue the public hearing with direction to staff and the applicant.

ACTION

The Design Review Commission approves the site design, massing/scale, architecture, and preliminary landscape plan for the project as presented on the plans prepared by Stantec Architecture Inc. dated 03/29/2017 based on the following findings, pursuant to the City's Zoning Ordinance, Chapter 19, Section 19.42.030.F as more specifically discussed in the staff analysis section of this report above and subject to the conditions below:

FINDINGS

1. CEQA Finding

The proposal is exempt from the Requirements of the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15302.

The project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) and the City of Novato Environmental Review Guidelines pursuant to CEQA Guidelines Section 15302, *Replacement or Reconstruction*. CEQA Guidelines Section 15302 exempts projects involving replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity. The proposed project will not result in a substantial increase in facility size or intensify the existing uses on site. The proposed project meets the criteria of the CEQA Guidelines Section 15302 and is categorically exempt from CEQA.

2. Design Review Findings

- a) The design, layout, size, architectural features and general appearance the project is consistent with the general plan, and any applicable specific plan and with the development standards, design guidelines and all applicable provisions of this code, including this title and any approved master plan and precise development plan.
- b) The project would maintain and enhance the community's character, provide for harmonious and orderly development, and create a desirable environment for the occupants, neighbors, and visiting public.
- c) The project would not be detrimental to the public health, safety, or welfare; is not materially injurious to the properties or improvements in the vicinity; does not interfere with the use and enjoyment of neighboring existing or future developments and does not create potential traffic, pedestrian or bicycle hazards.

CONDITIONS OF APPROVAL

1. Design Review shall expire two (2) years from the date of approval unless a building permit has been issued and remains valid.
2. The approval granted herein shall not become effective until all appropriate fees billed by the City of Novato to the application account are paid in full in accordance with the City's cost Base Fee System. Failure to pay said fees may results in the City withholding issuance of related building permit, certificate of occupancy, recordation of final maps or other entitlements.
3. All grading and construction activities shall comply with the noise and construction hours specified in section 19.22.070 of the Novato Zoning Ordinance.
4. The applicant shall comply with the procedures and requirements of Novato Municipal Code Division 19.21, *Art Program*, by either proposing the on-site installation of an art piece or the payment of a fee in-lieu of providing art with the proposed project, subject to approval by the Director of Parks, Recreation, and Community Services. Compliance with the provisions of the Art Program shall be achieve prior to issuance of a building permit for the proposed project.
5. The signs shown on the plans prepared for the Chase Bank are not approved as part of this Design Review action. A separate sign permit shall be required for each sign consistent with the requirements of the Novato Municipal Code Division 19.32, *Signs*.

6. The proposed project is required to provide one (1) bicycle parking stalls on-site. As per requirements in Novato Municipal Code Section 19.30.090, *Bicycle Parking and Support Facilities*.

The following conditions must be met to the satisfaction of the Novato Sanitary District:

7. If the existing building lateral is to be modified as part of the T.I. remodel, the project will need to obtain a District Commercial Lateral Modification Permit.

The following conditions must be met to the satisfaction of the City of Novato Public Works Department:

8. Provide appendix C for your storm water control plan. This Appendix can be found on BASMAA Post-Construction Manual.
9. Any work within right-of-way requires an encroachment permit.

The following conditions must be met to the satisfaction of the Novato Fire Protection District:

10. Automatic fire sprinklers are required per NFPA Std. 13. Plans and calculations shall be submitted under permit with the NFPD for review and approval. Contact the North Marin Water District to apply for fire service connection. Additional sizing may be required due to available pressures and fire flow.
11. Fire hydrants shall be capable of flowing 1,500 GPM, spotted by the Fire Marshal, and spaced not to exceed 300 feet. New fire hydrant shall be spotted by the fire marshal and installed prior to combustible construction.
12. All fire sprinkler alarms and valves shall be monitored and zones by an approved UL Central Station conforming to NFD Standard #400.
13. Fire hydrants shall be painted Rustoleum high floss yellow or equal. Hydrants shall have a blue reflective roadway marker installed per NFD Standards.
14. A serially numbered UL certificate shall be issued by the approved monitoring company on the alarm monitoring system.
15. "No Parking Fire Lane" signs and curb markings shall be installed conforming to NFD Standard #204.
16. Knox key access shall be installed conforming to NFD Standard #202.
17. The address shall be installed conforming to NFD Standard #205.
18. Permit application and associated fees shall be submitted with plan submittal package.

19. Portable fire extinguishers shall be installed and maintained in accordance with California Fire Code Chapter 9.

The following conditions must be met to the satisfaction of the North Marin Water District:

20. The project must conform to District Regulation 15- Mandatory Water Conservation Measures. Occupancy approval shall not be granted until compliance with water conservation measures, as applicable, can be verified.
21. Installation of an above-ground, reduced pressure principle (RPP) backflow prevention device at the meter is required in accordance with the district's regulation 6 and California Department of Health Regulations. Upon installation, an inspection report must be completed and returned to the District prior to the commencement of business activities.

22. Indemnity and Time Limitations

- a. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, attorneys and employees from any claim, action, or proceeding brought against the City or its agents, officers, attorneys, or employees, to attack set aside, void or annul the City's decision to approve the application and associated environmental determination at issue herein. This indemnification shall include damages or fees awarded against the City, if any, cost of suit, attorney's fees, and other costs and expenses incurred in connection with such action whether incurred by the applicant, the City, and/or parties initiating or bringing such action.
- b. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, employees, and attorneys for all costs incurred in additional investigation (such as the environmental determination at issue herein or any subsequently required Environmental Document), if made necessary by said legal action and if the applicant desires to pursue securing such approvals, after initiation of such litigation, which are conditioned on the approval of such documents, in a form and under conditions approved by the City Attorney.
- c. The applicant indemnifies the City for all the City's costs, fees, and damages which the City incurs in enforcing the above indemnification provisions.
- d. Unless a shorter period applies, the time within which judicial review of this decision must be sought is governed by California Code of Civil Procedure, Section 1094.6.
- e. The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d) (1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. The applicant is hereby further notified that the 90-day approval period in which you may protest these fees, dedications,

reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun. If the applicant fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the applicant will be legally barred from later challenging such exactions.

FURTHER ACTION

No further action on the Design Review application will be taken unless an appeal is filed in writing within ten calendar days along with the required filing fee.

ATTACHMENTS

1. Architectural Plan Set
2. Revisions Memo
3. Design Review Workshop Minutes excerpt 11/2/2016





North Elevation

22'-0"
T.O. ROOF

14'-7"
B.O. SOFFIT

0'-0"
GROUND LEVEL

Color Legend:

-  Sherwin Williams SW6108 "Latte"
-  Centria 154 "Dark Bronze"
-  GAF Timberline "Charcoal"
-  "Pennsylvania Bluestone"
-  Opaque Solar Film Solyx Product: SX-3130 White 70 Diffuser

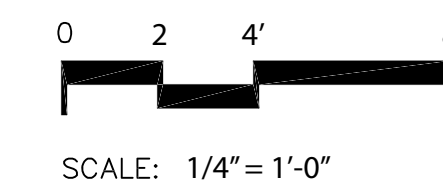


East Elevation

22'-0"
T.O. ROOF

14'-7"
B.O. SOFFIT

0'-0"
GROUND LEVEL



Chase Bank
Ignacio
Ignacio Blvd & Alameda Del Prado
Novato, CA





South Elevation



West Elevation

22'-0"
T.O. ROOF

14'-7"
B.O. SOFFIT

0'-0"
GROUND LEVEL

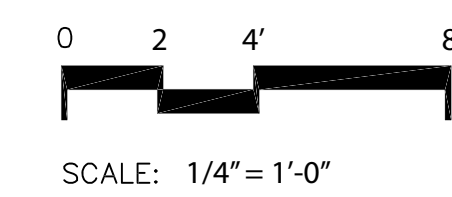
22'-0"
T.O. ROOF

14'-7"
B.O. SOFFIT

0'-0"
GROUND LEVEL

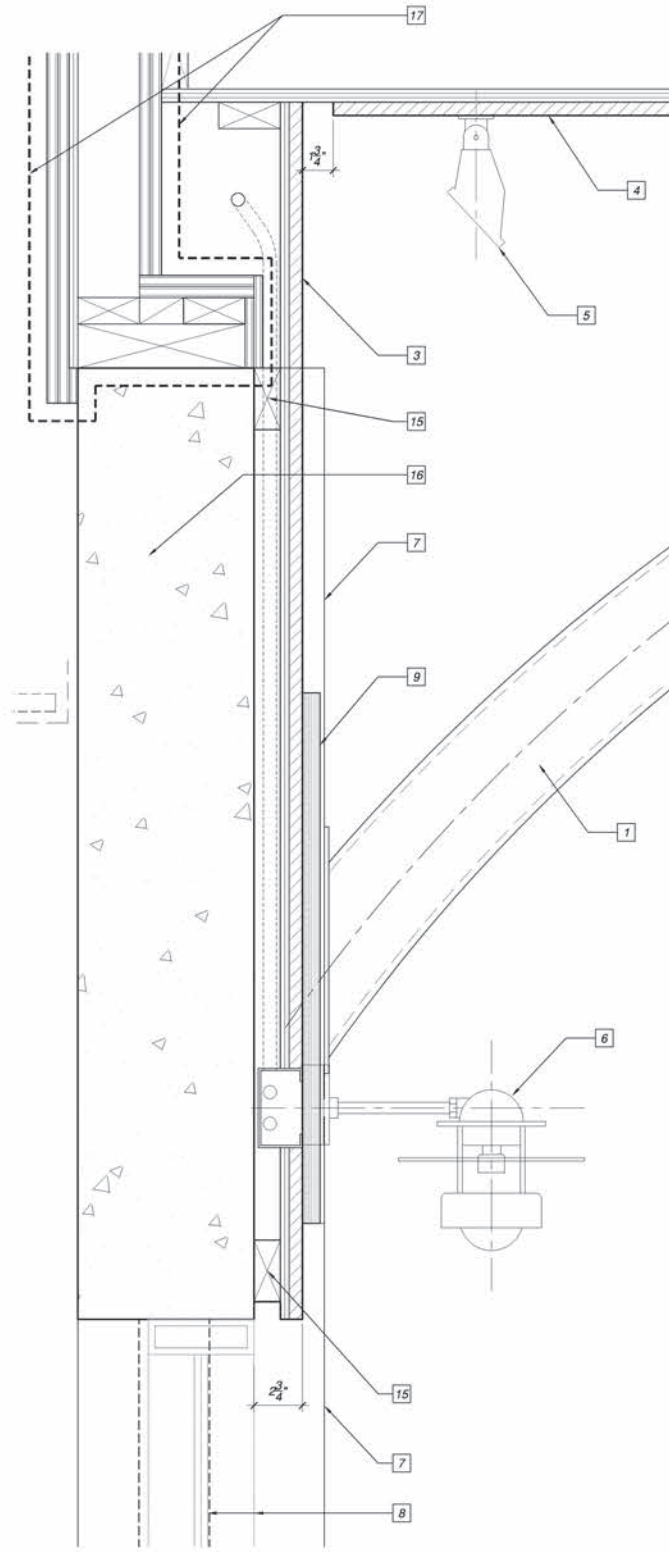
Color Legend:

-  Sherwin Williams SW6108 "Latte"
-  Centria 154 "Dark Bronze"
-  GAF Timberline "Charcoal"
-  "Pennsylvania Bluestone"
-  Opaque Solar Film Solyx Product: SX-3130 White 70 Diffuser

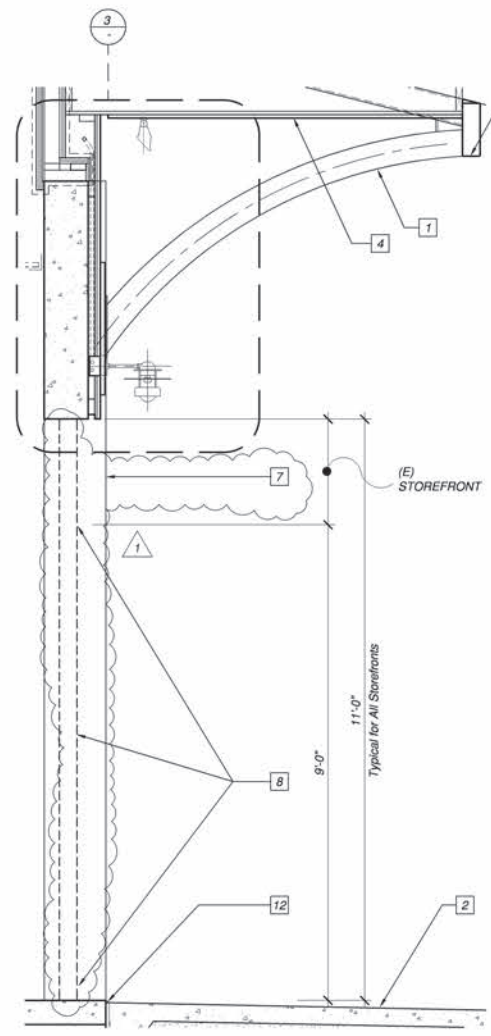


Chase Bank
Ignacio
Ignacio Blvd & Alameda Del Prado
Novato, CA

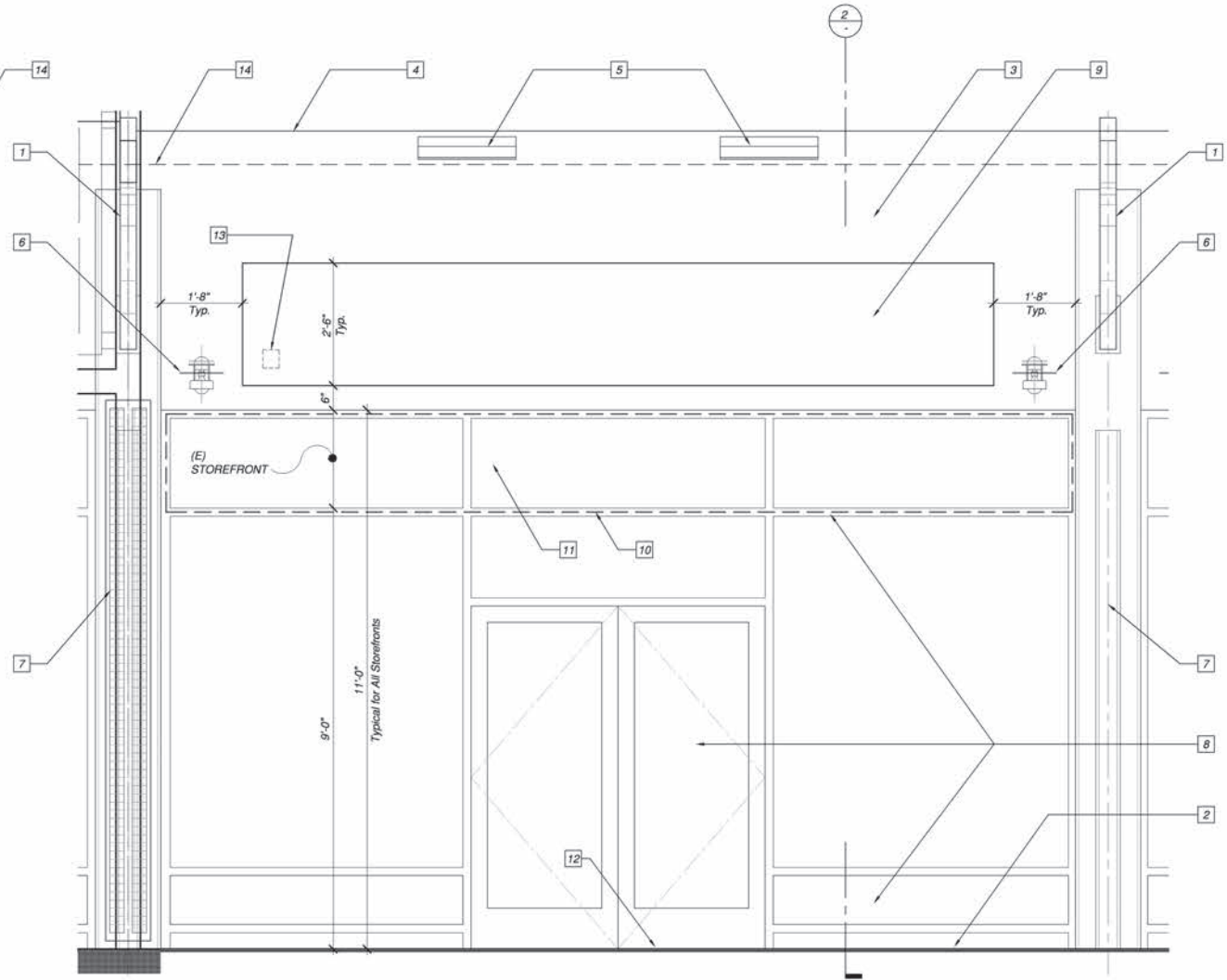




3 Enlarged Section 3" = 1'-0"



2 Typical Storefront Section 3/4" = 1'-0"



1 Typical Storefront Elevation 3/4" = 1'-0"

Enlarged Bay Keynotes

- 1 (N) PAINTED METAL SUPPORT BRACKET
- 2 FINISHED WALKWAY. PAVEMENT LEVEL TO REMAIN, S.C.D.
- 3 (N) STUCCO FINISH
- 4 LINE OF SOFFIT
- 5 (N) LANDLORD WALL WASH LIGHT FIXTURE
- 6 (N) LANDLORD LIGHTING FIXTURE
- 7 (E) COLUMN PILASTER. CLEAN, SEE SPEC.
- 8 (E) ALUMINUM STOREFRONT SYSTEM
- 9 (N) TENANT SIGN LOCATION
- 10 REMOVE (E) STOREFRONT SIGN AND MAKE GOOD STOREFRONT SIGN AND GLAZING, CLEAN AS REQUIRED WHERE (E) TENANT CEILING HT. IS BELOW 11'-0", APPLY MIRAWALL PANEL ON OPAQUE FILM TO (E) GLAZING - V.I.F. W/ ARCHITECT AND OWNER
- 11 REMOVE AND RE-INSTALL (E) THRESHOLD IN COORDINATION WITH (N) FLATWORK INSTALLATION
- 12 APPROX. LOCATION OF JUNCTION BOX FOR TENANT SIGNLIGHT USE
- 14 LINE OF METAL FASCIA BEAM
- 15 2X WOOD BLOCKING
- 16 (E) CONC. WALL LINTEL
- 17 (N) FIREWALL CONSTRUCTION, SEE DET. 16/A9.1

Daniel Macdonald AIA Architects, Inc.
 1595 Grant Avenue, Suite 200
 Novato, California 94945
 (415) 899-0050 • Fax (415) 899-0955

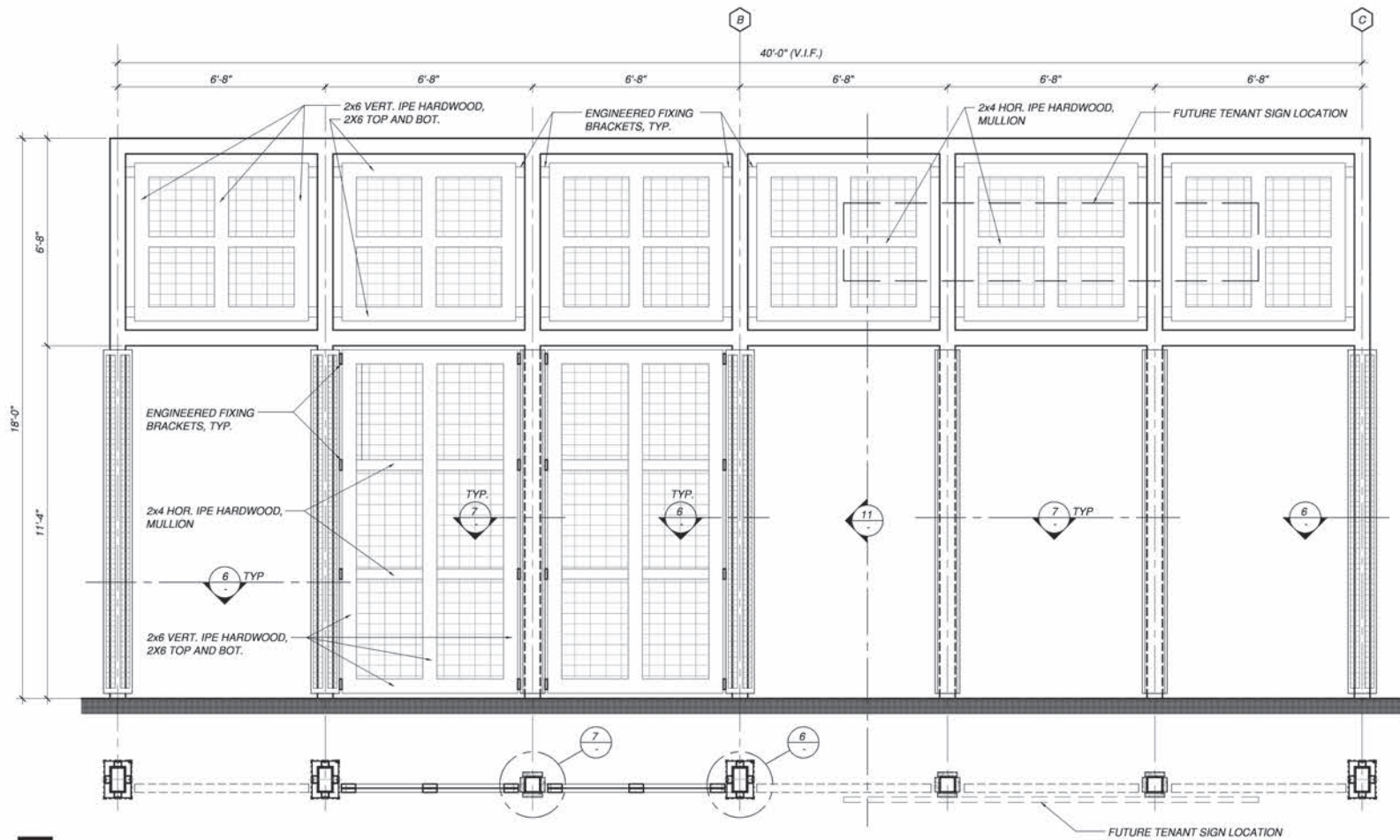


PACHECO PLAZA
SHOPPING CENTER IMPROVEMENTS
 490 IGNACIO BLVD. ~ NOVATO, CALIFORNIA 94949

Typical Storefront Elevation

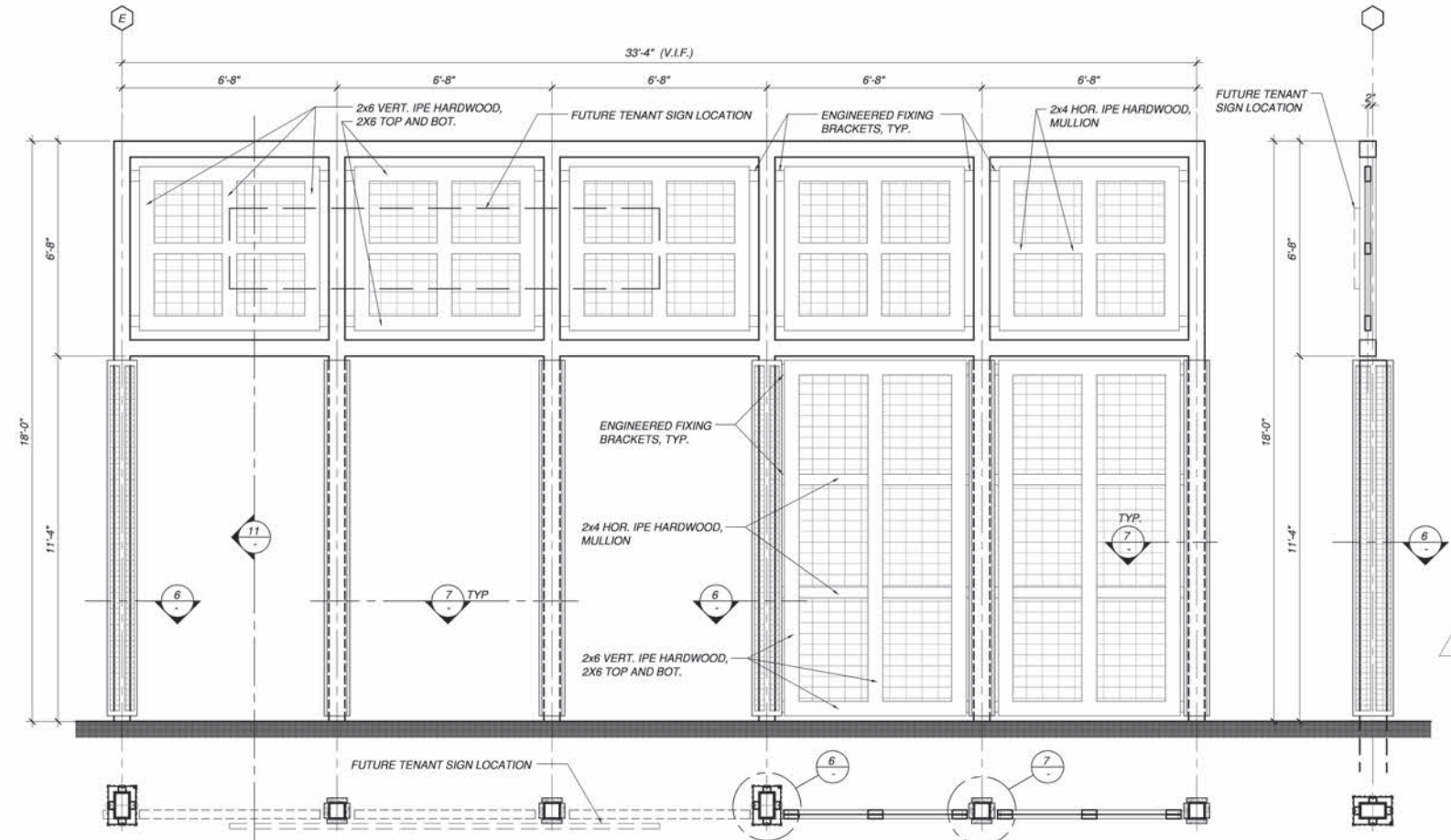
- 04-15-08 CONSTRUCTION PERMIT SUBMITTAL
- 05-29-08 CONSTRUCTION PERMIT RE-SUBMITTAL
- 07-24-08 STRUCTURAL REVISIONS
- 08-05-08 CONSTRUCTION ISSUE

DMAIA # 28004
 DRAWN BY mdj/gpd
 CHECKED BY dsd



9 Trellis Wall West Plan and Elevation, Building E

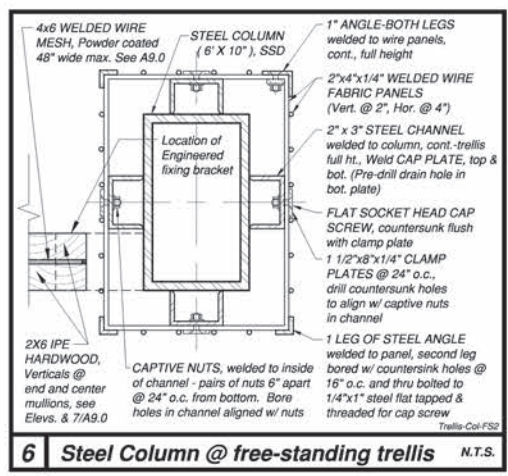
1/2" = 1'-0"



10 Trellis Wall East Plan and Elevation, Building AD

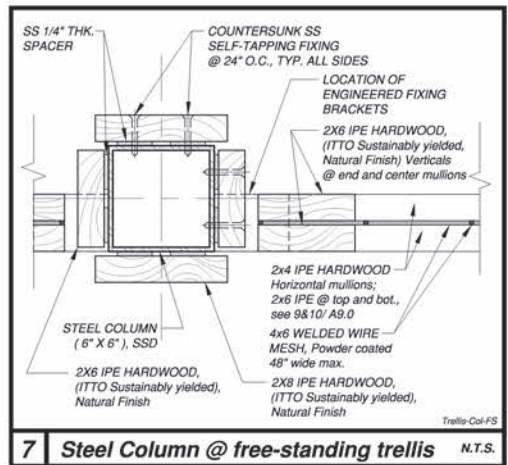
1/2" = 1'-0"

11 Section/Plan



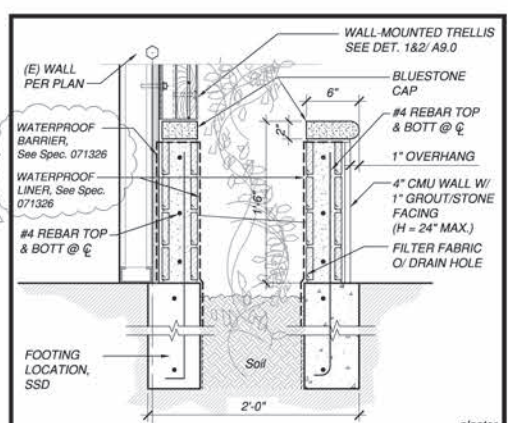
6 Steel Column @ free-standing trellis

N.T.S.



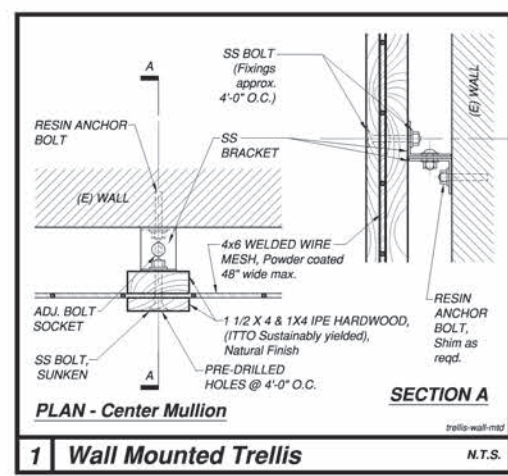
7 Steel Column @ free-standing trellis

N.T.S.



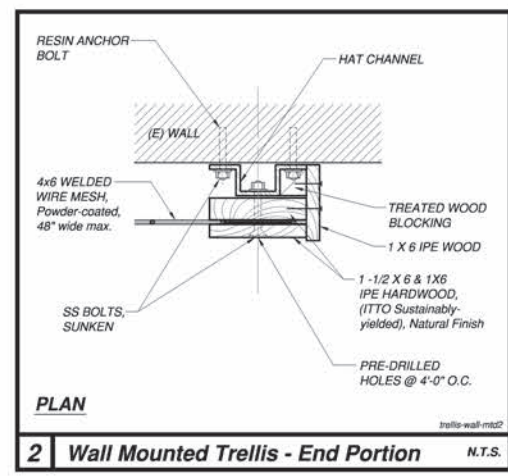
8 Planter

1 1/2" = 1'-0"



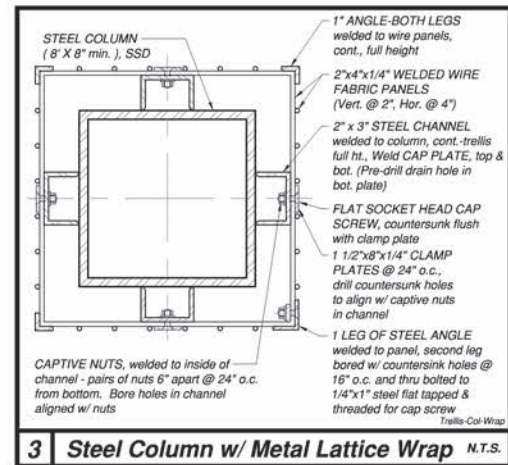
1 Wall Mounted Trellis

N.T.S.



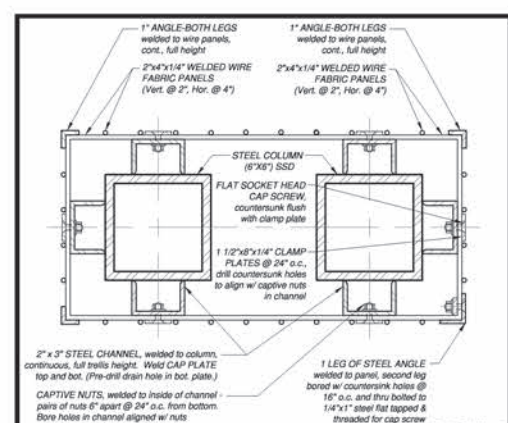
2 Wall Mounted Trellis - End Portion

N.T.S.



3 Steel Column w/ Metal Lattice Wrap

N.T.S.



4 Steel Column w/ Metal Lattice Wrap

N.T.S.

Daniel Macdonald AIA Architects, Inc.
1595 Grant Avenue, Suite 200
Novato, California 94945
(415) 899-0050 • Fax (415) 899-0055



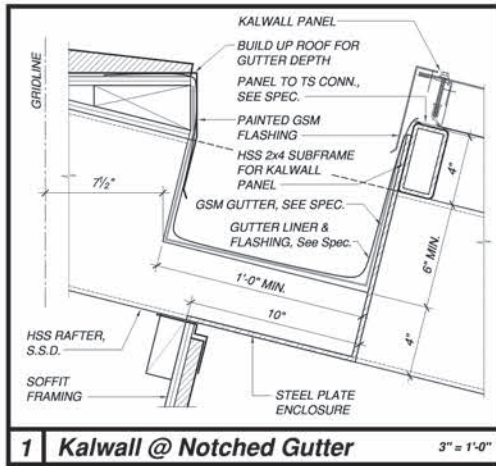
PACHECO PLAZA
SHOPPING CENTER IMPROVEMENTS
490 IGNACIO BLVD. ~ NOVATO, CALIFORNIA 94949

FREESTANDING & WALL MOUNTED TRELLIS DETAILS

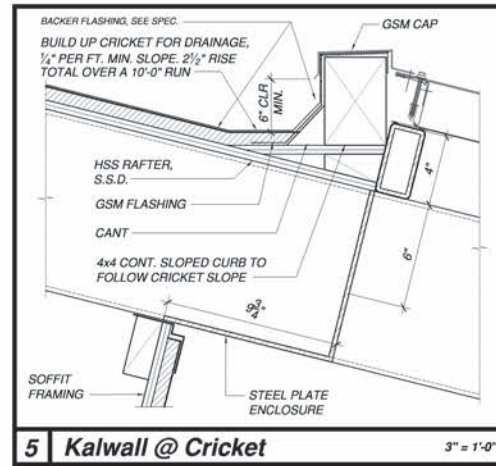
- 04-15-08 CONSTRUCTION PERMIT SUBMITTAL
- 05-29-08 CONSTRUCTION PERMIT RE-SUBMITTAL
- 07-24-08 STRUCTURAL REVISIONS
- 08-05-08 CONSTRUCTION ISSUE

DMAIA # 28004
DRAWN BY mdg/grads
CHECKED BY dsdm

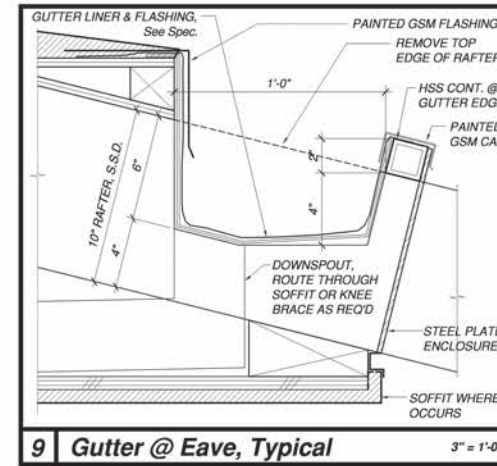
A9.0



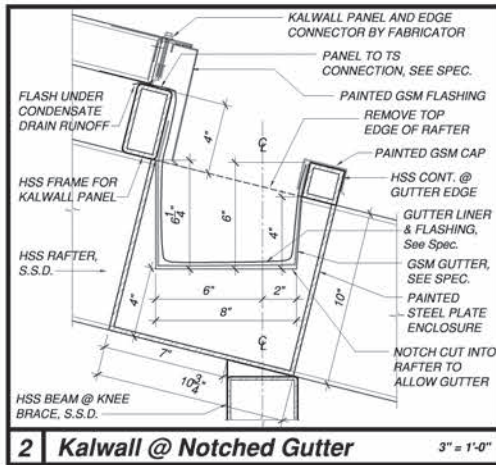
1 Kalwall @ Notched Gutter 3" = 1'-0"



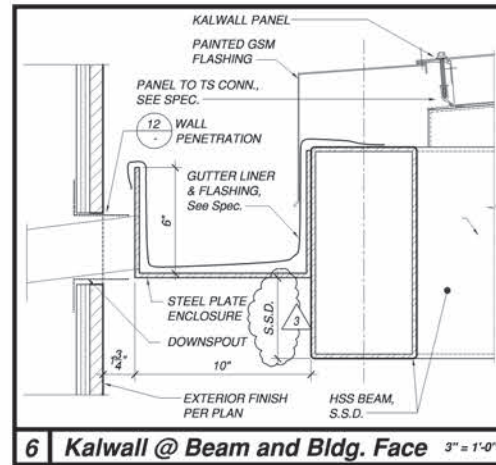
5 Kalwall @ Cricket 3" = 1'-0"



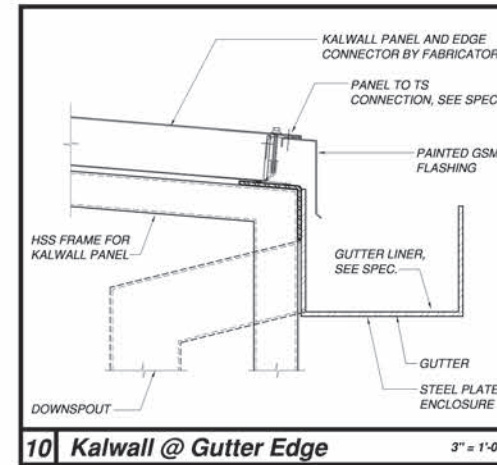
9 Gutter @ Eave, Typical 3" = 1'-0"



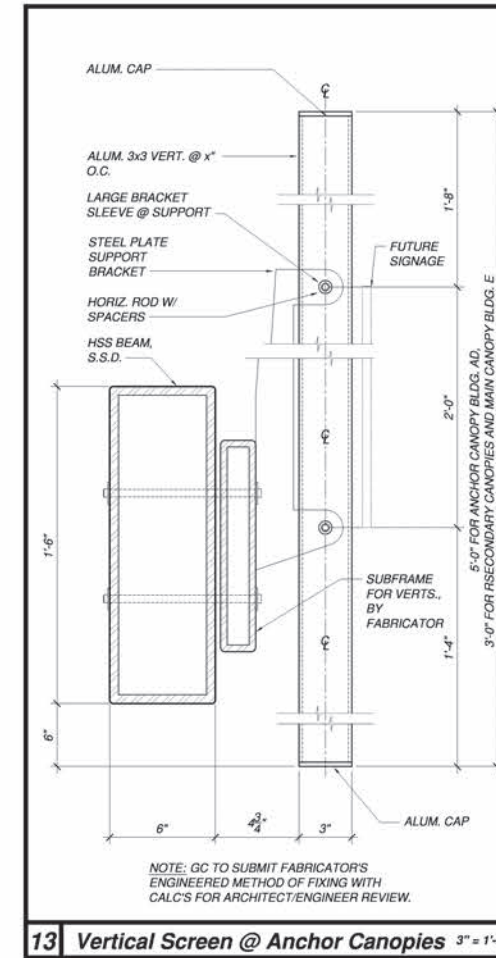
2 Kalwall @ Notched Gutter 3" = 1'-0"



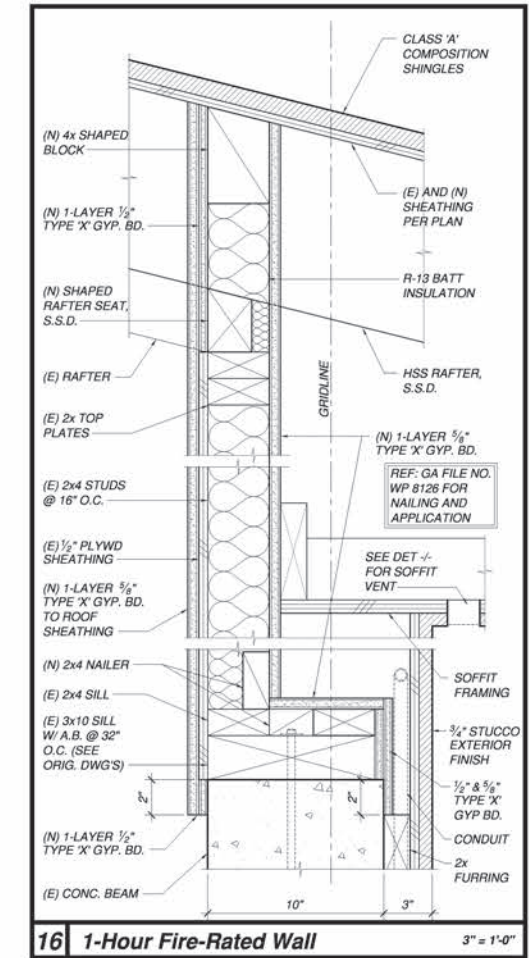
6 Kalwall @ Beam and Bldg. Face 3" = 1'-0"



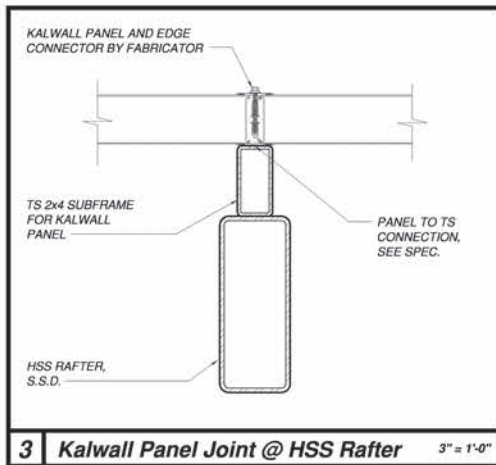
10 Kalwall @ Gutter Edge 3" = 1'-0"



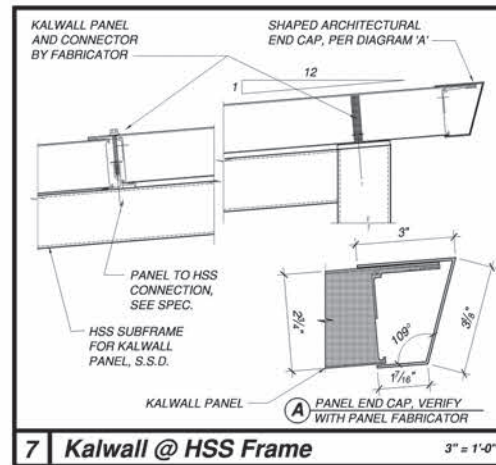
13 Vertical Screen @ Anchor Canopies 3" = 1'-0"



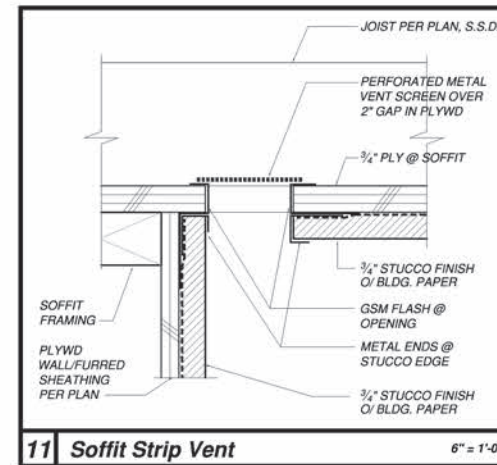
16 1-Hour Fire-Rated Wall 3" = 1'-0"



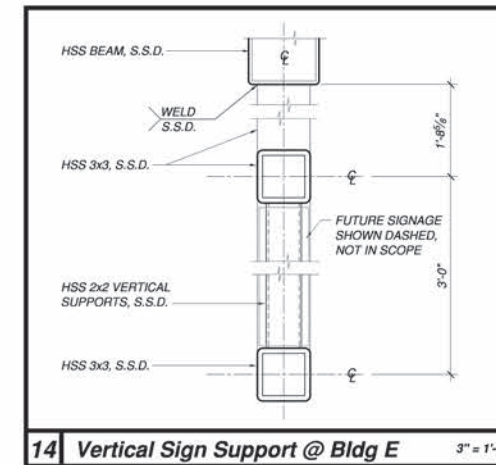
3 Kalwall Panel Joint @ HSS Rafter 3" = 1'-0"



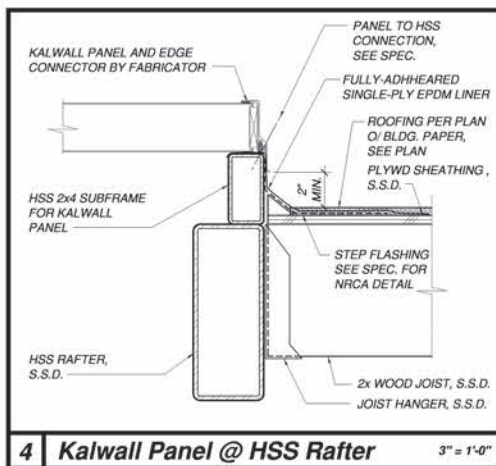
7 Kalwall @ HSS Frame 3" = 1'-0"



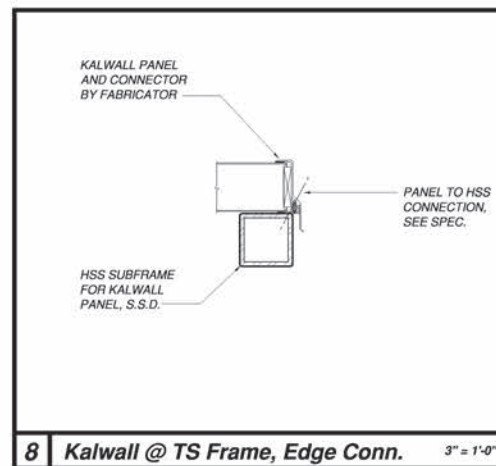
11 Soffit Strip Vent 6" = 1'-0"



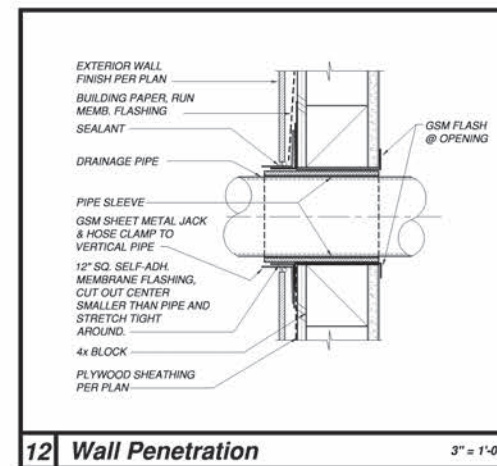
14 Vertical Sign Support @ Bldg E 3" = 1'-0"



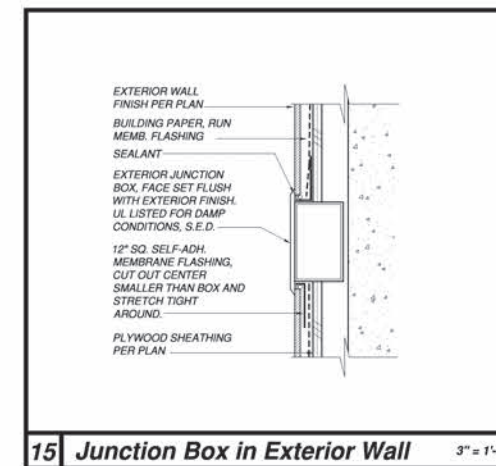
4 Kalwall Panel @ HSS Rafter 3" = 1'-0"



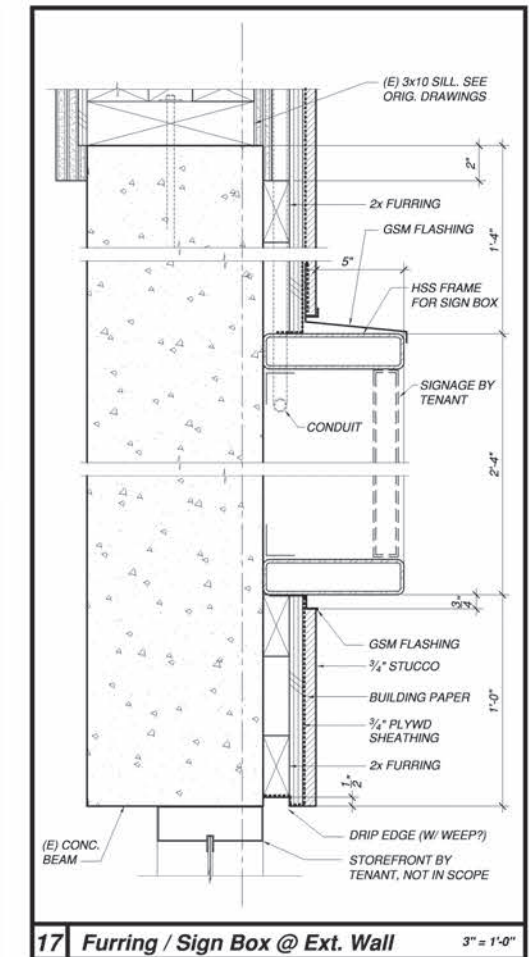
8 Kalwall @ TS Frame, Edge Conn. 3" = 1'-0"



12 Wall Penetration 3" = 1'-0"



15 Junction Box in Exterior Wall 3" = 1'-0"



17 Furring / Sign Box @ Ext. Wall 3" = 1'-0"

Copyright DMAIA Architects Inc 2008 - 06/06/2008 AM

Daniel Macdonald AIA Architects, Inc.
1595 Grant Avenue, Suite 200
Novato, California 94945
(415) 899-0050 • Fax (415) 899-0055



PACHECO PLAZA
SHOPPING CENTER IMPROVEMENTS
490 IGNACIO BLVD. ~ NOVATO, CALIFORNIA 94949

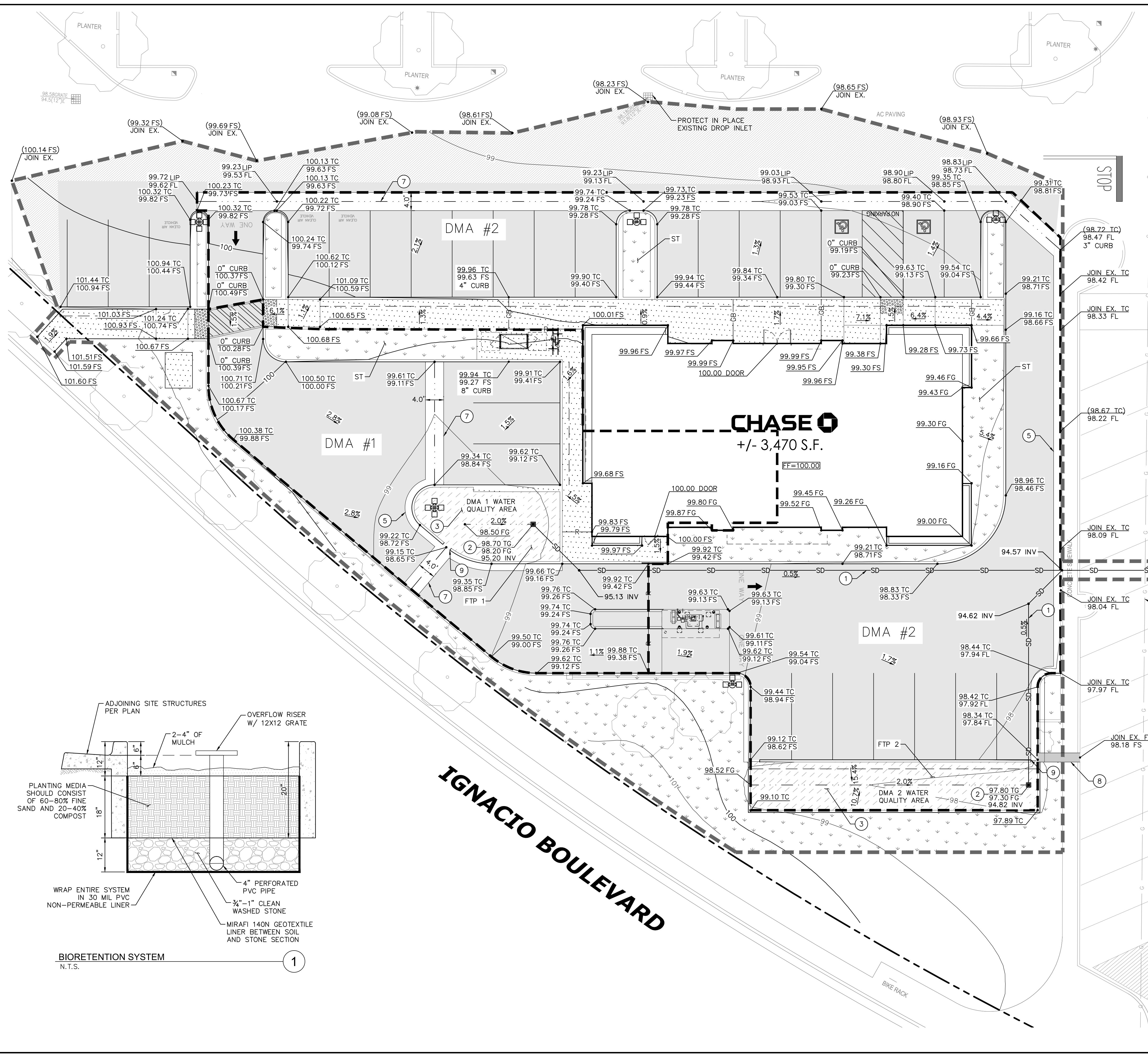
Architectural Details

- 04-15-08 CONSTRUCTION PERMIT SUBMITTAL
- 05-29-08 CONSTRUCTION PERMIT RE-SUBMITTAL
- 07-24-08 STRUCTURAL REVISIONS
- 08-05-08 CONSTRUCTION ISSUE

DMAIA # 28004
DRAWN BY mdrgrdms
CHECKED BY dsdm

A9.1

Plotted By: G:\Projects_Nick_March_22_2017_11:15:07am_K:\GRA_LDEA\Chase_Bank\094615129_1 - Prelim - 094615129.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Please refer to the specific purpose and client for which it was prepared. No other use or reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

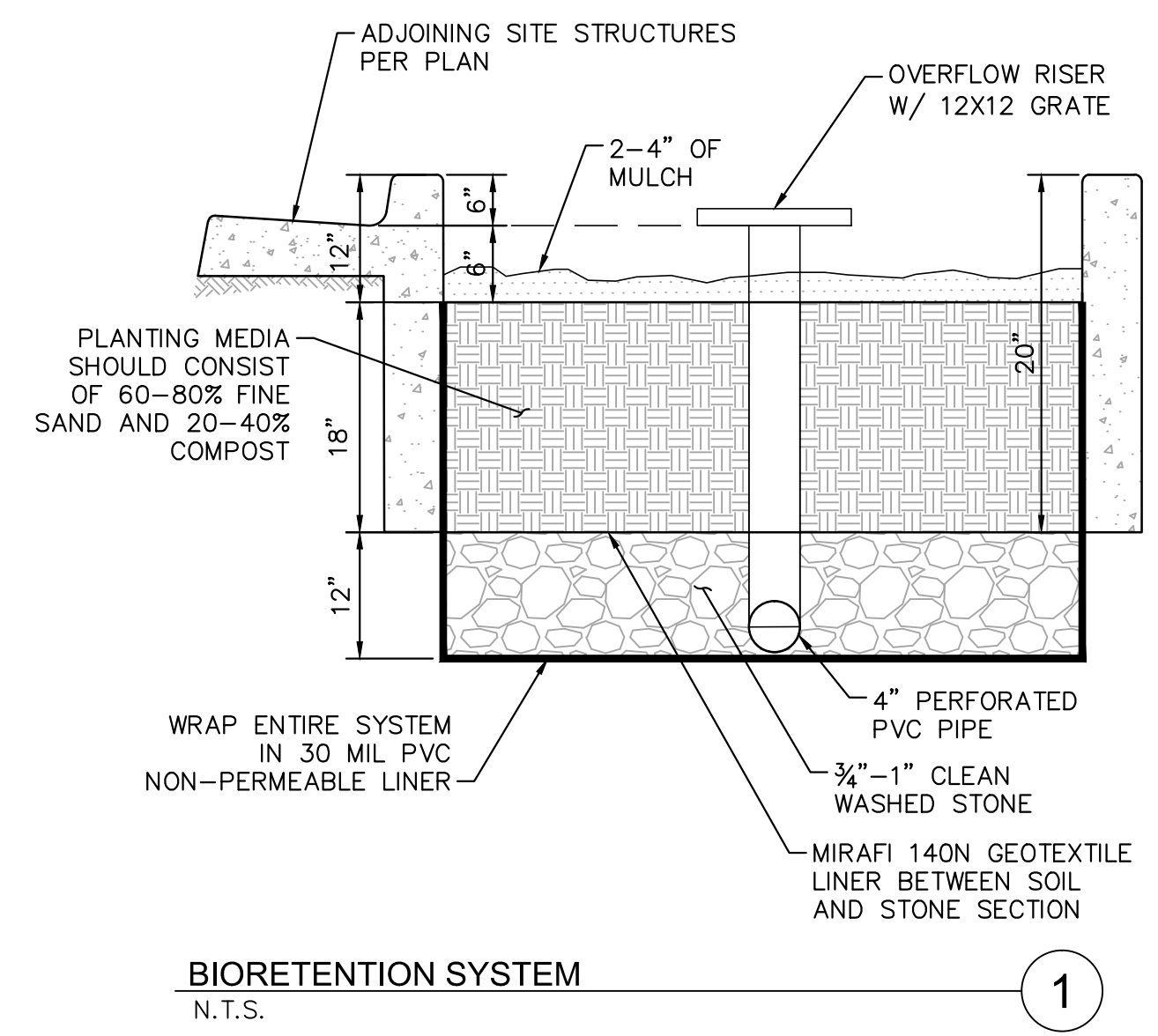
- LEASE LINE
- CIVIL LIMITS OF WORK
- FLOW LINE
- RIDGE LINE
- GRADE BREAK LINE
- DRAINAGE MANAGEMENT AREA LIMITS
- 100.00 TC
99.50 FS
- (100.00 TC)
(99.50 FS)
- DMA DRAINAGE MANAGEMENT AREA
- FTP FLOW-THROUGH PLANTER
- ST SELF TREATMENT
- FULL DEPTH ASPHALT REPLACEMENT
- CONCRETE PAVEMENT
- AC MILL AND OVERLAY
- LANDSCAPE/PLANTER AREA
- TREATMENT LIMITS (FTP)

DMA #	IMPERVIOUS AREA (SF)	TREATMENT AREA-4% OF IMPERVIOUS REQUIRED (SF)	PROVIDED TREATMENT AREA (SF)	TREATMENT FACILITY #
1	5418	216	439	FTP #1
2	13834	553	641	FTP #2

SITE DATA

PARCEL SIZE: 352,750 S.F. (8.01 AC)
 LIMITS OF DISTURBANCE: 24,045 S.F. (0.55 AC)
 PROPOSED IMPERVIOUS AREA: 14,567 S.F. (EXCLUDING BUILDING)
 PROPOSED PERVIOUS AREA: 18,037 S.F. (INCLUDING BUILDING)
 PROPOSED PARKING AREA: 5,212 S.F.
 APN: 12,571 S.F. (INCLUDING DRIVE AISLE)
 ZONING: 160-190-13 MU
 ADDRESS: 484 IGNACIO BLVD.

- ### GRADING NOTES
- INSTALL 12" PVC SDR-35 STORM DRAIN PIPE.
 - INSTALL JENSON 12"x12" CONCRETE OVERFLOW CATCH BASIN.
 - CONSTRUCT BIOFILTRATION/RETENTION SWALE WITH IMPERMEABLE LINER AND 4" PERFORATED COLLECTION PIPE, PER DETAIL 1, HEREON.
 - CONNECT TO THE EXISTING STORM DRAIN PIPE. CONTRACTOR TO POT HOLE AND CONFIRM THE EXISTING INVERT PRIOR TO CONSTRUCTION.
 - INSTALL CONCRETE CURB AND GUTTER.
 - INSTALL CONCRETE MOW CURB (0" CURB).
 - CONSTRUCT VALLEY GUTTER WIDTH PER PLAN.
 - CONSTRUCT 2.0' WIDE PARKWAY DRAIN PER SPPWC STANDARD 151-2, INLET TYPE 2 FOR OVERLAND RELEASE.
 - CONSTRUCT 2.0' WIDE CONCRETE CURB CUT.



© 2015 KIMLEY-HORN AND ASSOCIATES, INC.
 765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668
 PHONE: 714-939-1030 FAX: 714-938-9488
 WWW.KIMLEY-HORN.COM

PRELIMINARY GRADING PLAN

CHASE NOVATO
PREPARED FOR
CHASE

CITY OF NOVATO CA

SHEET NUMBER
1 OF 1

NO.	REVISIONS	DATE	BY

To: Matthew Gilster
City of Novato
Community Development Dept
922 Manchin Ave.
Novato, CA 94945

From: Arvin Villanueva
38 Technology Dr, Suite 100
Irvine, CA 92618

File: 2007696014

Date: April 3, 2017

Reference: Chase Bank – Ignacio Blvd and Alameda Del Prado – DRC

Matt,

Here is a summary of the revisions:

1. A0.1.-Site Plan:
 - a. Removal of Trash Enclosure, per previous conversation. Existing on-site trash bins will be utilized.
 - b. Relocate Clean Air Parking in place of removed Trash Enclosure. Increase parking count by 1, Parking Analysis revised to reflect.
 - c. Transformer footprint revised.
 - d. Addition of planter area added along the west, north, and east side of building.
 - e. Landscape area on south side of building increased to accommodate new curved trellis design.
 - f. Building footprint pop-out changed due revisions to building design, building square footage did not change.
 - g. Accessible curb ramp revised due to revisions to building design.
 - h. Additional sheets added to Sheet Index - A6.0/ A9.0/ A9.1 (Reference only). Existing Plaza CD detail sheets.
2. A2-Floor Plan:
 - a. Addition of planter area added along the west, north, and east side of building.
 - b. Building footprint changed due to building design, building square footage did not change.
 - c. SDB room and Conference room location switched.
 - d. Location of Switch gear cabinet moved from Northwest side of building to southwest side of building.
3. A3/A4-Exterior Elevations:
 - a. Revise elevations to reflect discussion with Property owner, Patrick MacLearnmy and Chase.
 - i. Lowered roof height from 27'-0" to 22'-0"., removed parapets and towers from design.

Reference: Chase Bank – Ignacio Blvd and Alameda Del Prado

- ii. Added 6'-8' roof overhang to elevations.
 - iii. Added additional trellis elements to building, similar to plaza design.
 - iv. Incorporated roof gutter designed to match plaza.
 - v. Added curved corbels to underside of roof soffit to match plaza.
 - vi. Mansards roof design added to screen rooftop mechanical units.
 - vii. Addition of Freestanding signage curved trellis to south elevation.
 - viii. Added Kalwall on roof to match existing plaza design.
 - ix. Signage lowered below roof eaves from 18'-0" to 12'-10".
 - x. Lowered tile veneer on building.
 - xi. Adjusted mullion heights on all windows.
 - xii. Balanced rhythm
- 4. A5-Exterior Elevations – Canopy
 - a. Remove reference to Trash enclosure.
 - 5. Site Photo -
 - a. Site photos added to sheet set for reference of trellis design, roofway ties and canopy in plaza.
 - 6. Color elevations -
 - a. Revise elevations to reflect discussion with Property owner, Patrick MacLearnmy and Chase as described in item #3.
 - 7. A6.0/ A9.0/ A9.1 – Reference only sheets
 - a. Plaza detail sheets added to sheet set for reference.
 - 8. 1 of 1 -Preliminary Grading Plan
 - a. Removal of Trash Enclosure.
 - 9. L0.1-Preliminary Landscape Plan
 - a. Removal of Trash Enclosure.
 - b. Identification of existing trees to be removed.
 - 10. Signage Package
 - a. Sign added to set.

STANTEC ARCHITECTURE.

Arvin Villanueva
Project Lead
Phone: (949) 923-6218
Fax: (949) 923-6121
Arvin.Villanueva@stantec.com

Reference: Chase Bank – Ignacio Blvd and Alameda Del Prado

Attachment: Attachment

c. Dan Popa

1. PACHECO PLAZA CHASE BANK (MG)
FILE: P2016-071; DESIGN REVIEW WORKSHOP
APN: 160-190-13, 402 IGNACIO BOULEVARD

Conduct a public workshop to review and provide comments on the site design, circulation, building massing, and architecture for the demolition and replacement of an existing vacant bank building and drive-thru ATM with a 3,470 square foot single story bank building with a drive-thru canopy and ATM. The building will be 27 feet tall at its highest point measured from the grade. 27 parking stalls will be provided. The project site is located in the Pacheco Plaza Shopping Center at 402 Ignacio Boulevard, APN: 160-190-13.

Planner II Matt Gilster presented the project and gave an overview of the proposal, project site, building architecture, and application process.

Dan Popa, the architect for the project gave a presentation describing the project proposal and gave an overview of the specific project details including landscaping, site design and parking layout.

Public Comments:

None

Summary of Commission Comments:

Commissioner Barber

- Commented approvingly of the landscaping plan but requested that the number of trees to be re-planted should be equal to the number of trees removed.
- Suggested moving the trash enclosure to a more appropriate location away from the main shopping center parking lot.
- Commended the landscaping plan, species choices and pointed out the Chinese elm trees are fast growing.
- Asked the architect to make sure to include all trees that are proposed to be removed on the final landscaping plan.
- Asked the architect to consider placing green walls on the front of the building reflective of this application on other areas in the center; explained that the front of the building looked too bare and more landscaping was needed to break up the sterile concrete effect. The rear of the building is currently screened by landscaping and there is minimal need for additional landscaping in the rear.

- Consider “tilted” trellis design to “reflect” the trellis applied on other locations within the center.
- Suggested the pitch of the hip roof element be reduced.
- Consider relocating the trash enclosure to a less prominent/visible location.

Commissioner Farrell

- Agreed with previous Commissioner comments regarding a slight rearrangement of the landscaping to provide landscaping along the base of the building’s front/entry.
- Stated that a more appropriate façade look could be accomplished by adding green wall features similar to other locations in the center, and planters in recesses in the front of the building.
- Asked the applicant to consider adding a defined roof ridge line.
- Agreed that the trash enclosure could possibly be relocated to a less conspicuous location.

Commissioner Balfe, Chair

- Agreed with previous commissioner comments regarding movement of the trash enclosure, recommended looking into eliminating the trash enclosure if the shopping center was already served by a central trash facility.
- Stated that the roof needed some work and suggested providing the Commission with a few options on roof design.
- Agreed that more landscaping should be placed at the front of the building and suggested shifting the building back (towards Ignacio Blvd.) a foot or so to accommodate more landscaping along the base of the building’s front.
- Encouraged the applicant to reach out to the absent commissioners for further comments on project details.