



THE CITY OF
NOVATO
CALIFORNIA

922 Machin Avenue
Novato, CA 94945
415/ 899-8900
FAX 415/ 899-8213
www.novato.org

STAFF REPORT

MEETING

DATE: April 3, 2017

TO: Planning Commission

FROM: Robert Brown, Community Development Director

SUBJECT: **Review of Working Draft – Northwest Quadrant Neighborhood Form-Based Zoning Code**

REQUEST

Review the working draft form-based zoning code for the Northwest Quadrant Neighborhood and provide any desired feedback to the City Council.

DISCUSSION

Neighborhood Description

The Northwest Quadrant Neighborhood, located north of the downtown and constituting the residentially zoned area generally between First and Seventh Streets and between Grant Avenue and Carmel Drive, was been identified by the City Council in 2014 as one of four Focus Areas for examination as part of the General Plan Update (see attached Study Area map).

The neighborhood is designated by the Department of Housing and Urban Development (HUD) as a Disadvantaged Community, based on the census tract having at least 50% of households with income less than 60% of the Area Median Gross Income (\$64,600). The other two Disadvantaged Communities in Marin are the Canal neighborhood in San Rafael and Marin City (see attached HUD map).

In addition to declining income levels, the neighborhood has had declining levels of home ownership over the past four decades, with only 20% of the properties with owner occupants. The neighborhood also has the lowest rate of new construction valuation in the City.

The neighborhood was subdivided in 1918 from the grain fields of James Sweetser in a traditional grid pattern north of the downtown. It was developed with small single family homes in the first half of the 20th century. In the 1960s and 70s parcels were developed with poorly designed apartment complexes, prior to the City's design review process and generally with one parking space per unit, which led to the preparation of a neighborhood plan in 1977.

General Plan/Zoning History

Since its incorporation in 1960 the Northwest Quadrant was designated in the General Plan for multi-family development. In the 1981 General Plan it was allowed densities up to 20 units per acre. The 1981 Plan stated, "The long-range land use policy for this area is to maintain a mixed residential area and to gradually allow a relatively high population concentration to support

downtown commercial enterprises and offer less extensive housing in a location which is close to shopping, employment, transit and major collector streets.”

In 1977, in response to the rapid development apartment buildings, the City prepared and adopted a Neighborhood Plan which precluded new apartment development if a “sound” single-family home existed on the property. As a result of this policy, new development ceased in the neighborhood with the exception of the Margaret Duncan Geene Apartments (16 apartments for people with disabilities at 1100 Olive) and the 10-home Mount Burdell Place by Habitat for Humanity on Fourth Street.

The current 1996 General Plan retains the designation of Moderate Density Multifamily Housing, allowing density up to 20 units per acre. However, the zoning designation is R10-4.5, allowing multi-family housing up to 10 units per acre. Despite the allowance for multi-family uses, the prohibition on redeveloping a property with a habitable single-family dwelling has precluded such development. The Habitat for Humanity project required a rezoning to Planned Development when the existing home was determined to be uninhabitable.

Why Change Zoning Regulations?

An update of the Neighborhood Plan was initiated in March 2014 and included community involvement through a walking tour and two well-publicized workshops. The Planning Commission, Design Review Commission and City Council reviewed and accepted the revised Neighborhood Plan on June 1, and June 15, 2015 respectively, with the City Council directing staff to include the Neighborhood Plan objectives in the draft General Plan. As a result, new neighborhood priorities were established including:

1. Slow down traffic through the neighborhood
2. Improve pedestrian safety and walkability
3. Strengthen neighborhood identity
4. Explore potential for additional park space
5. Prioritize code enforcement
6. Consider designating sub-areas differently (Clayton Court and First Street)
7. Refine zoning regulations to ensure compatible development

A copy of the updated Neighborhood Plan with community input is included as Attachment 3.

At the workshops an update to zoning regulations was suggested to spur investment in the neighborhood but assure that any new multi-family redevelopment would be of a scale and design compatible with the lower-density homes in the area. The proposed tool discussed was a form-based zoning code, also called a traditional neighborhood code, that would define allowable building types (duplexes, tri- and four-plexes, cottage courts), maximum building sizes, the placement of buildings at the front of the lot with parking behind, and the way the building addresses the street with entries and yards to more closely emulate the “house scale” sizes of the neighborhood. This differs from the City’s traditional zoning that establishes only setbacks from property lines and a height limit for the size and location of new buildings, leaving great discretion to applicants but little predictability for both neighbors and applicants and relying heavily on the design review process to establish an acceptable site plan and building massing. A form-based code is more prescriptive in terms of site planning, but does not regulate style or materials, which would still be evaluated through design review.

The proposed form-based code, if acceptable to the community and adopted by the City Council, would eliminate the current restriction on retaining all habitable single-family homes, allowing multi-family redevelopment, but subject to the General Plan’s density limit and the size limitations

of the new code, which will largely yield one and two-bedroom units, which by design would be more affordable than typical apartment and condominium complexes built in Novato. A typical neighborhood parcel of 50'x150' would therefore be allowed to replace a single-family dwelling with a duplex or triplex (3 units maximum). Although the number of property owners interested in redeveloping may not be great, to guard against excessive redevelopment activity, staff proposes that a cap be established allowing no more than 3 of the 105 properties with single family homes to redevelop per year.

In summary, the rationale to revise the existing zoning regulations and General Plan policy re: retention of habitable single-family structures is to:

- Allow opportunities for new investment in the neighborhood by providing allowances to redevelop properties with single-family dwellings with moderate-density multi-family uses within the existing General Plan density range,
- Somewhat increase residential opportunities consistent with the objectives of past and current General Plans in a location close to downtown services and transit, achieving an alignment of General Plan and zoning regulations,
- Eliminate the current incentive for property owners to allow single-family homes to deteriorate to the point of being uninhabitable so as to allow redevelopment,
- Implement more detailed zoning regulations that will increase predictability that new multi-family redevelopment will be of a “house scale” with limited building sizes located towards the street with parking behind, emulating the desirable design aspects of portions of the neighborhood, and
- Restrict the pace of potential redevelopment to no more than 3 properties per year with existing single-family dwellings.

Proposed Form-Based Code

On August 30, 2016 the City Council approved a consultant services agreement with Opticos Design, Inc. to prepare a draft form-based code for the neighborhood and to share the draft with the community. Two public workshops were held on October 26, 2016 and March 9, 2017 to explain the concept of a form-based code and how it differs from traditional zoning, and to share specifics of the working draft of the code for the Northwest Quad neighborhood. 630 bilingual notices were mailed to all property owners and tenants for the workshops, but attendance was limited.

The proposed form-based code includes the following provisions:

- Requires that new dwellings be located within 20 and 25 feet of the front property line to maintain proximity of structures to the streetscape (to visually define the streetscape, have units relate to the sidewalk and public realm and allow residents to have “eyes on the street” for greater safety).
- Requires that parking be located behind buildings at least 40 feet front the front property line and 10 feet from a side street for corner lots to make vehicle parking less visually dominant.
- Limits building height to two stories (maximum 24' from grade to the top plate height of a second story wall), with a maximum height of 35' to roof peak, and allows use of the enclosed roof area (attic space) for habitable space with use of dormer windows for light

and ventilation. This would allow flexibility for an additional bedroom in the attic space, since the building size limitations are very restrictive and may otherwise limit units to a single bedroom. The current zoning limit of 35' could allow 3-story structures with a flat or mansard roof. [Note that a cottage court building type, described below, is limited to a single story plus usable attic space.]

- Limits allowable building types to seven: a detached single-family, side-by-side duplex, stacked duplex, small multiplex (3-6 units: 3 units on a typical 50'x150' lot, up to 6 units on a double lot), cottage court, courtyard building and a carriage house (detached accessory structure which could contain an accessory dwelling unit). The maximum size (width and depth) of each of these building types is limited to yield a "house scale" building as opposed to a larger attached group of apartments as currently exist in the neighborhood. Diagrams for each of the building types provide specificity for the maximum building dimensions.
- Requires one of five "frontage types" which require that building entries face the street and define the ways that entries are accentuated: front yard, projecting porch, engaged porch (attached on two sides to the dwelling), stoop and dooryard.
- Establishes minimum private or communal open space requirements, including minimum dimensions of contiguous open space to assure usability.
- Retains existing citywide parking standards, including those for multi-family dwellings (1.75 spaces/1-bedroom unit, 2.25 spaces/2-bedroom unit and 2.45 spaces/3-bedroom unit, including guest parking of 0.25 spaces/unit).

Questions have been raised in public workshops about the relationship of the new code with the current Zoning Code and the role of staff and the Design Review Commission in future design review.

The new code would be added to the current Zoning Code affecting only the Northwest Quadrant neighborhood. The more restrictive form-based regulations (building size, building location, reduced height and open space) would supersede existing code provisions, but all other components of the Zoning Code, including parking ratios, would remain applicable.

The new form-based code is more prescriptive than current zoning regulations, thereby offering less discretion to applicants and to staff and the Design Review Commission through the design review process. There would be provisions in the ordinance to allow slight adjustments to certain regulations by the Design Review Commission in the design review process. Design review would focus more on the building design, materials and landscaping/open space than the site plan, which would largely be dictated by the form-based code.

Design Review Commission Feedback

At its meeting of March 15, 2017 the Design Review Commission considered the proposed form-based code. Three of the four Commissioners were supportive of the proposed code, stating its prescriptive site plan requirements were appropriate for the neighborhood. As Chair MacLeamy stated, "9 out of 10 projects we review have 2 of 3 pieces wrong – the site and the scale. We end up spending lots of time with each project to fix these two aspects. This new code would fix that so we can spend time on the third piece – everything else." Commissioner Barber indicated the form-based code would overly restrict design creativity. Commissioners agreed that the proposed code does not give apartment owners an incentive to redevelop, which would be desirable.

The Apartment Conundrum

One of the goals of the Neighborhood Plan was to incentivize owners of existing apartment buildings to redevelop their sites in a more compatible design. There are two challenges. First, most apartments have more units than allowed by the current zoning. They can be maintained, but if redeveloped, must meet today's zoning standards. The second difficulty is providing more parking at current ratios if redevelopment occurs. As a result, owners would lose units through redevelopment.

The draft form-based code responds to creation of moderate density multi-family housing on vacant or underdeveloped sites (e.g., with existing single-family homes), but does not provide accommodations for redevelopment of existing apartments which exceed the allowable maximum density of 20 units/acre.

The scope of the consultant analysis could be expanded to include detailed evaluation of 4-5 existing non-conforming apartments (of the 54 non-conforming apartment properties in the neighborhood) and preparation of zoning standards for non-conforming properties that would attempt to balance the higher density/lower parking provisions of existing development with form-based zoning standards that would allow additional building square footage and sufficient parking, but retain some of the essential design attributes of the form-based code (e.g., "house-scale" building sizes at the street frontage). Expanding the scope of services to create new zoning standards to address the non-conforming apartments and provide incentive to redevelop in a more aesthetically compatible manner, would entail an additional \$5,000 cost.

PUBLIC OUTREACH

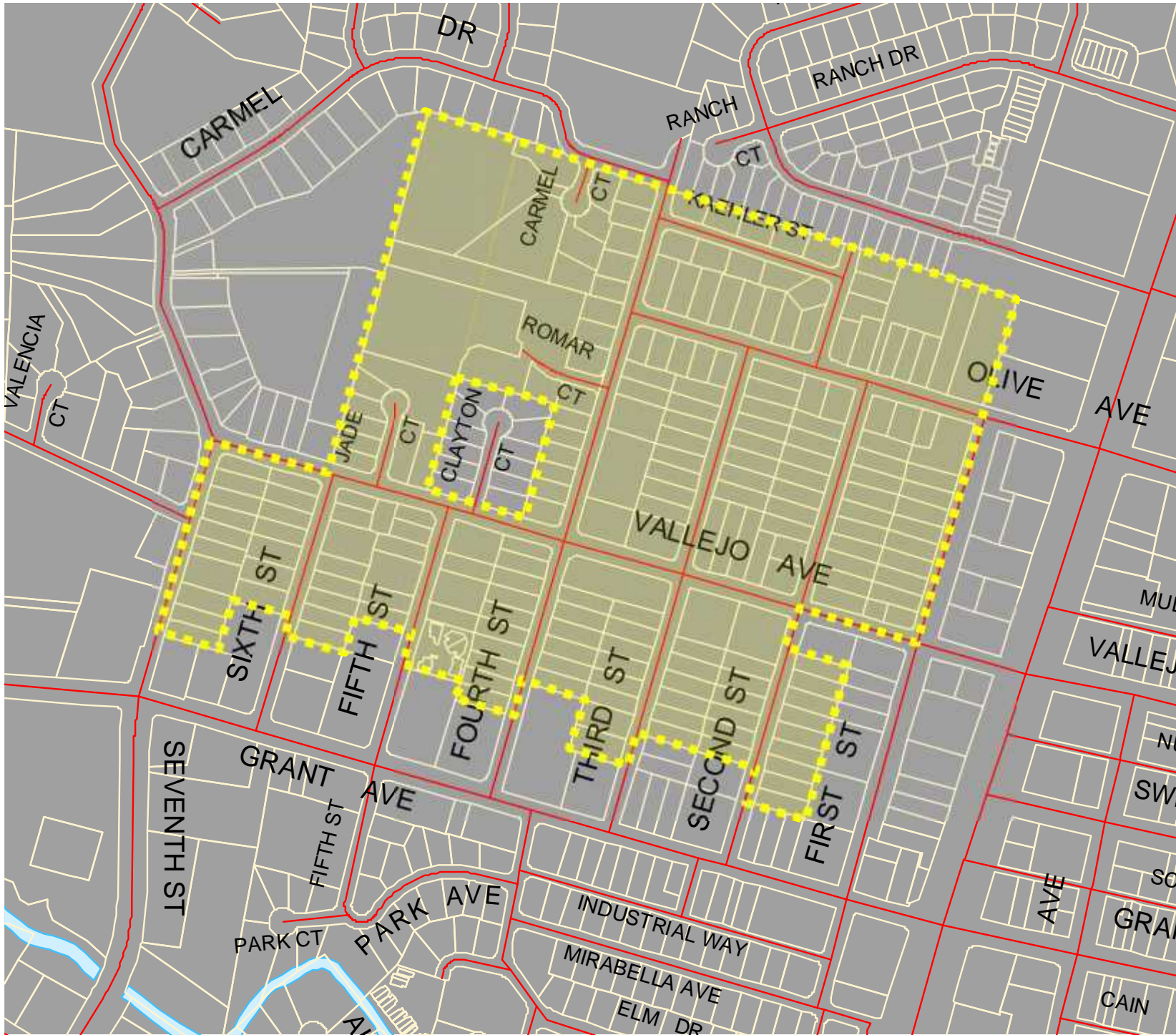
Extensive outreach was conducted for the neighborhood meetings in March 2015 including direct mailed notice to all property owners in the neighborhood (211 properties), door hangars in English and Spanish for all apartment units and bilingual posters placed on utility poles within the neighborhood, in the Grant Avenue kiosks and in the windows of Grant Avenue businesses. For the October 2016 and March 2017 community workshops, 630 bilingual fliers were mailed to all property owners and tenants. Notices for the Planning Commission and City Council reviews of the proposed code were mailed to all property owners and tenants.

ALTERNATIVES

1. Do not adopt the proposed form-based code and leave existing regulations/policies in place.
2. If the desire is to retain the neighborhood for single-family use, rezone and change the General Plan land use designation to single-family to eliminate the current disconnect in regulations.

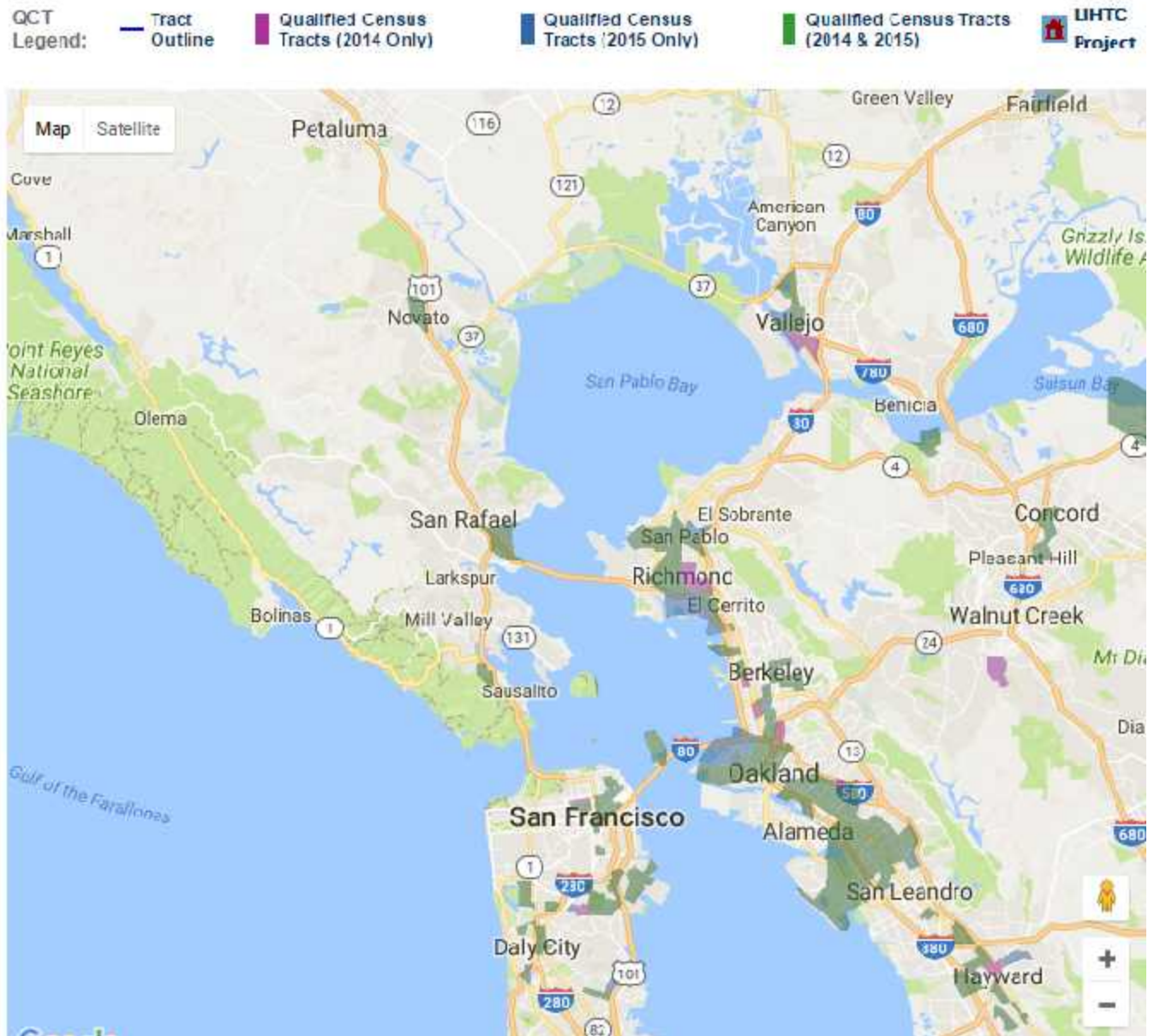
ATTACHMENTS

1. Study Area map
2. HUD Disadvantaged Communities map
3. Updated Neighborhood Plan
4. Working Draft of Northwest Neighborhood Form-Based Code



Qualified Census Tracts – Disadvantaged Communities

Source: U.S. Department of Housing and Urban Development User GIS Service QCT Locator

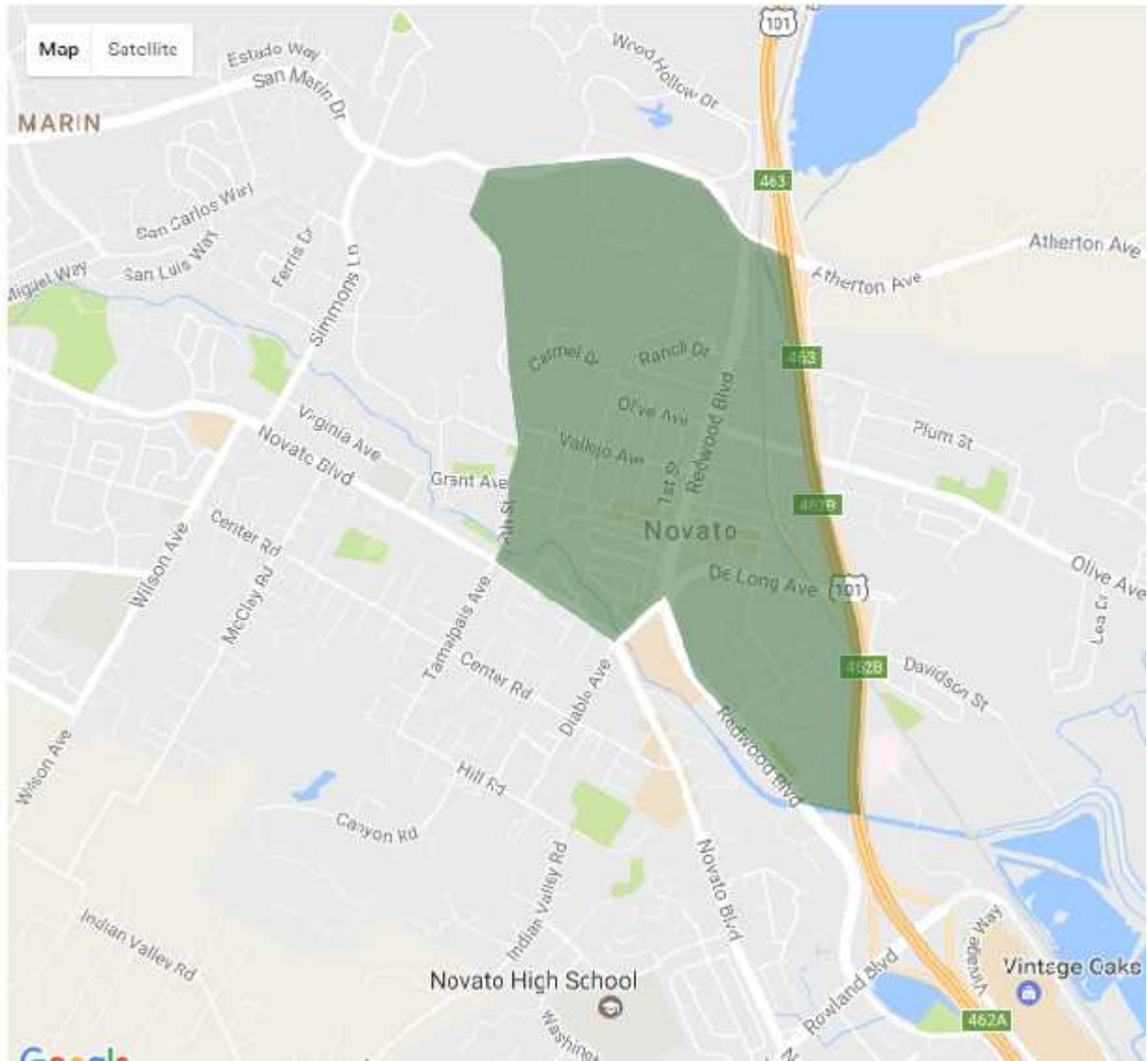


A **Qualified Census Tract (QCT)** is any **census tract** (or equivalent geographic areadefined by the **Census** Bureau) in which at least 50% of households have an income less than 60% of the Area Median Gross Income (AMGI).

Qualified Census Tracts – Disadvantaged Communities

Source: U.S. Department of Housing and Urban Development User GIS Service QCT Locator

QCT Legend: — Tract Outline ■ Qualified Census Tracts (2014 Only) ■ Qualified Census Tracts (2015 Only) ■ Qualified Census Tracts (2014 & 2015)



City of Novato
General Plan 2035 Focus Area



NORTHWEST QUADRANT NEIGHBORHOOD STUDY

May, 2015



Why a Neighborhood Study?

The Northwest Quadrant Neighborhood, north of the Grant Avenue business district, between First and Seventh Streets, has a mix of small, older single-family homes and 1960's-70's two-story apartment buildings. Its location is ideal: close to downtown services, transit and the new SMART station.

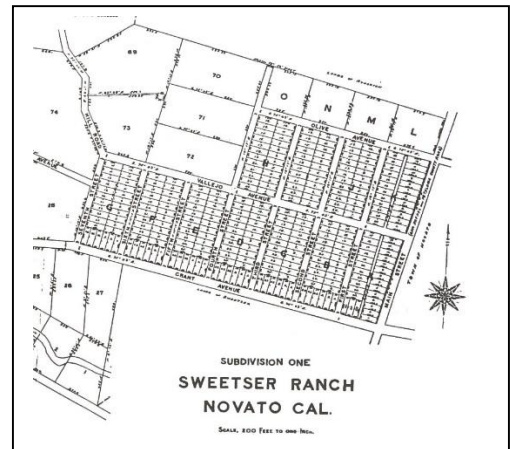
In 1977, in response to the rapid development of relatively inexpensive apartment buildings, the City prepared and adopted a Neighborhood Plan (Appendix 1) which precluded new apartment development if a "sound" single-family home existed on the property. The 1996 General Plan called for updating the neighborhood plan, and continued the policy of the 1977 Plan until that occurred.

The City is now preparing an update of its General Plan, and has included the Northwest Quadrant Neighborhood as one of its Focus Areas. Similar studies have been done for the Redwood Boulevard Corridor, resulting in updated land use and design criteria for the new General Plan.

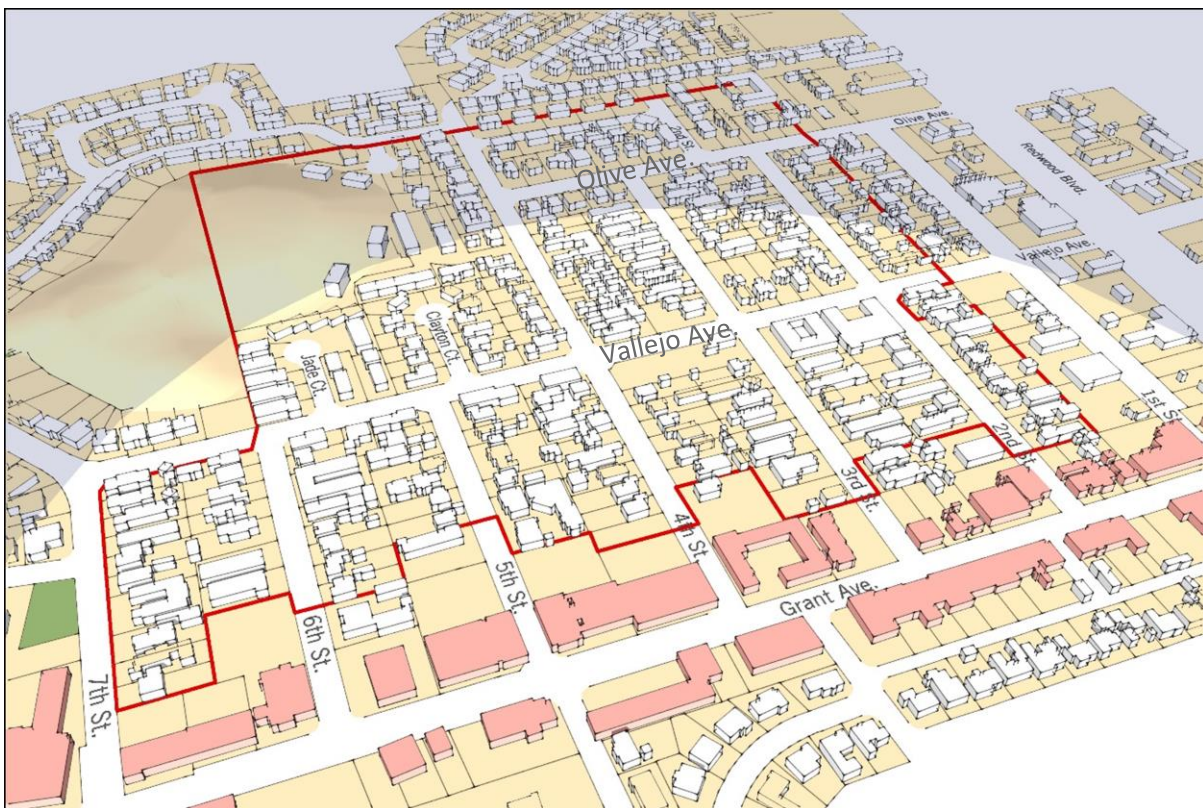


Neighborhood Analysis

The Northwest Quadrant neighborhood is an historic Novato neighborhood, originally part of the 15,000-acre Rancho de Novato which was purchased by Joseph Sweetser and Francis DeLong in 1856. In 1918 the Novato Land Company divided a one square mile portion of the Sweetser grain and alfalfa fields into individual parcels that could be purchased for a modest sum. By the early 1920's, the Sweetser subdivision was, according to the Novato Advance, "fast assuming an important residential, chicken and horticultural district" with homeowners who were "happy, hospitable and...satisfied with their lot in life."



The Northwest Quadrant Neighborhood is located north of the Grant Avenue Business District, between First and Seventh Streets, and extending north to Carmel Drive.



STUDY AREA

The area is generally flat and close to Downtown restaurants, services and transit, making it ideal for walking. There are 201 parcels in the study area, with 601 dwelling units. About half of the parcels are developed with single-family homes, and half with apartments. Only 20% of the properties are owner-occupied.

1977 Neighborhood Plan

In response to rapid changes in the neighborhood resulting from apartment construction in the 1960's and early 70's, the City of Novato prepared a Northwest Quadrant Plan in 1977. The Plan called for a "long-range land use policy for the Northwest Quadrant...to maintain a mixed residential area. The City's goal is to allow a relatively high population concentration to support downtown commercial enterprises, and offer less expensive housing in a location which is close to shopping, employment, transit and major collector streets." The Plan's "long-range policy takes into consideration the large number of existing single-family homes in the area...those single-family homes which are in sound condition should not be removed for apartment construction."

The adopted land use policies for the area limited parcels to two single-family homes per lot or a duplex, but allowed multi-family construction which "would not encourage the demolition of a sound dwelling" and "would not lead to the intrusion of apartments into a predominately single-family area." In cases where apartment construction could occur, the maximum allowable density was 22 units/acre.

The Plan also established a "Buffer Area" one property deep from the commercially-zoned parcels along Grant Avenue. The land uses in the Buffer Area were to include allowances for offices, institutions and "similar nonresidential uses," as well as residential development if not negatively impacted by the adjacent commercial businesses.

Neighborhood Development under the 1977 Plan

As a result of the land use limitations placed on multi-family development in the 1977 Plan, there has been virtually no new development in the past 35 years. In 2007 the property at 1112 Fourth Street was approved for the construction of 10 small two-story homes centered around a parking court and street-side common area. This development was possible due to the very dilapidated condition of an existing single-family home, which was allowed to be demolished and the site rezoned to a Planned Development district at a density of 14.5 units per acre.

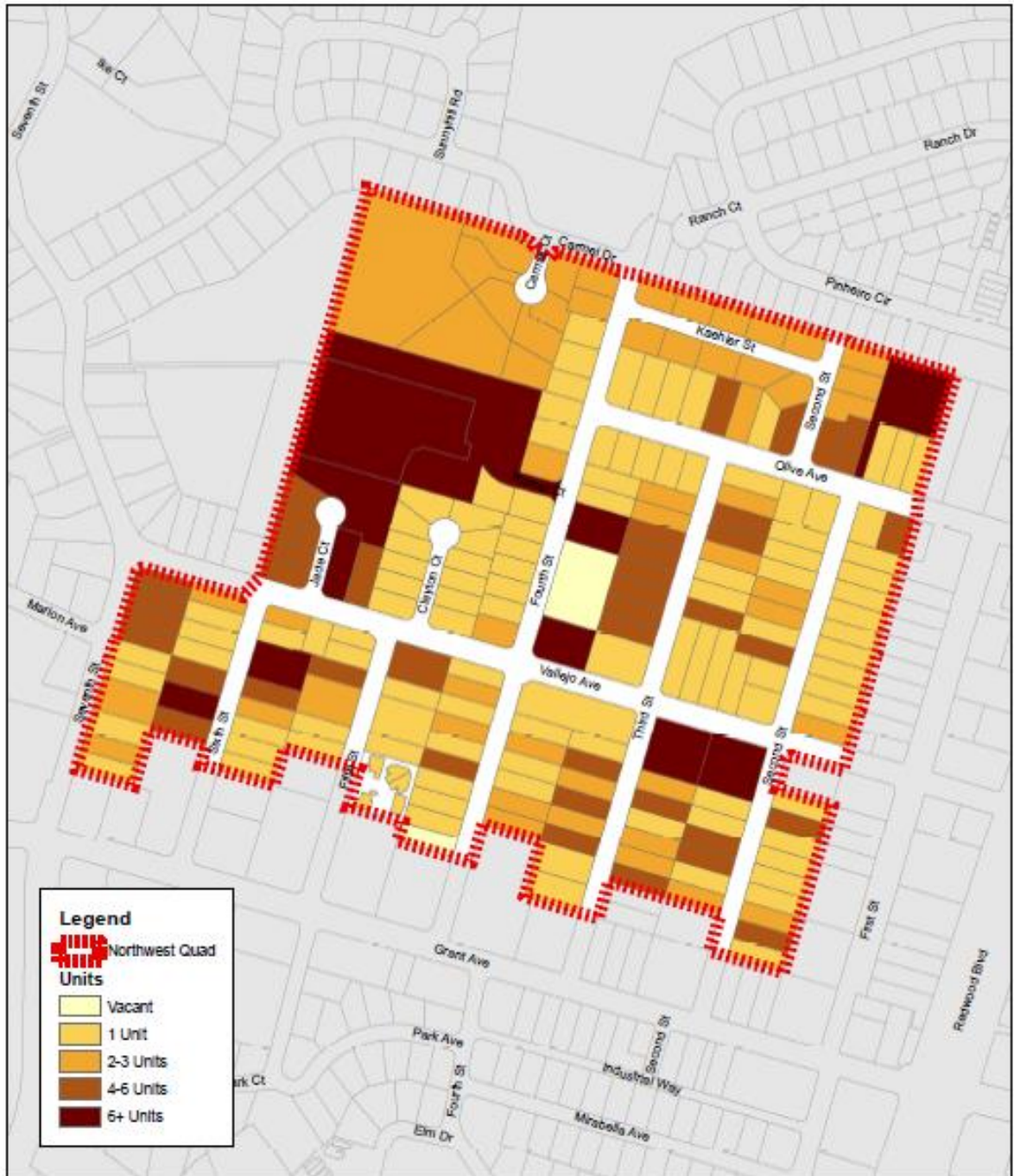
Surrounding Land Use Policies

Since adoption of the 1977 Neighborhood Plan, the City of Novato adopted a Downtown Specific Plan in 1998, calling for low-scale mixed use development, and implemented ground floor use limitations and implemented extensive upgrades to the Grant Avenue streetscape to promote a dynamic and pedestrian-oriented retail and restaurant environment.

More recently the City has conducted public design charrettes for North Redwood Boulevard, setting the stage for redevelopment of the former Shamrock and Dairyman's facilities, and held design workshops for streetscape improvements within this former freeway right-of-way.

Neighborhood Development and Densities

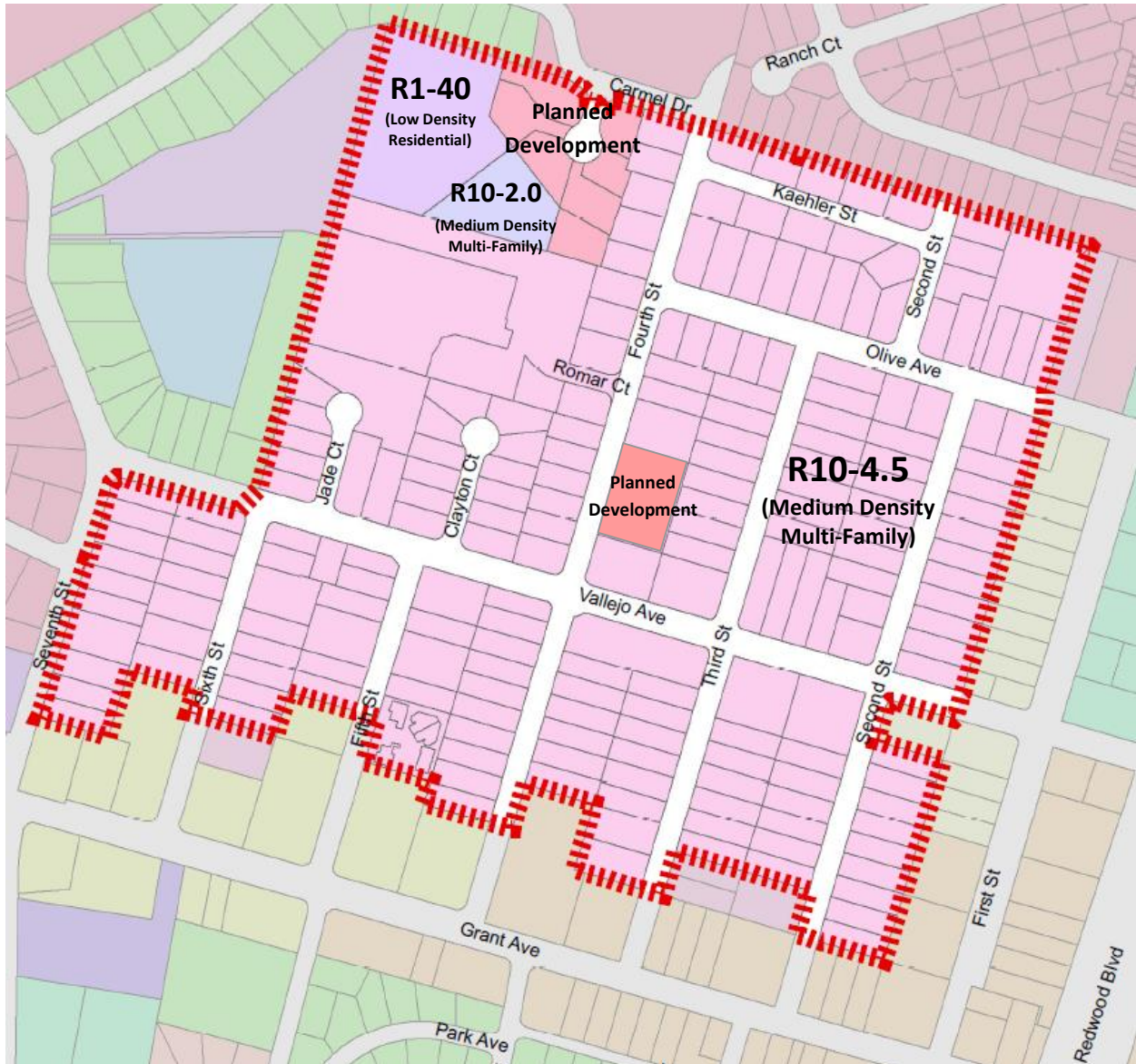
As noted above, the Northwest Quadrant today has a rather random diversity of housing types and densities. Densities on individual parcels range from 6 to 39 units-per-acre, and the average density of the entire neighborhood is 13.5 units per acre. A photo documentary of existing neighborhood character is included as Appendix 2.



EXISTING DENSITY

Zoning

The majority of the study area is currently zoned R10-4.5 (Medium Density Multi-Family), which allows one residential unit per 4,500 square feet of lot area, a density of 10 units per acre. A land-locked 1-acre sloped parcel behind the residences on Carmel Court is zoned R10-2.0 (Medium Density Multi-Family) allowing one unit per 2,000 square feet of lot area, a density of 22 units per acre. And a land-locked 2.5-acre hillside in the northwest corner of the study area is zoned R1-40, a low-density residential district allowing one dwelling per 40,000 square feet of lot size, or about one unit per acre.



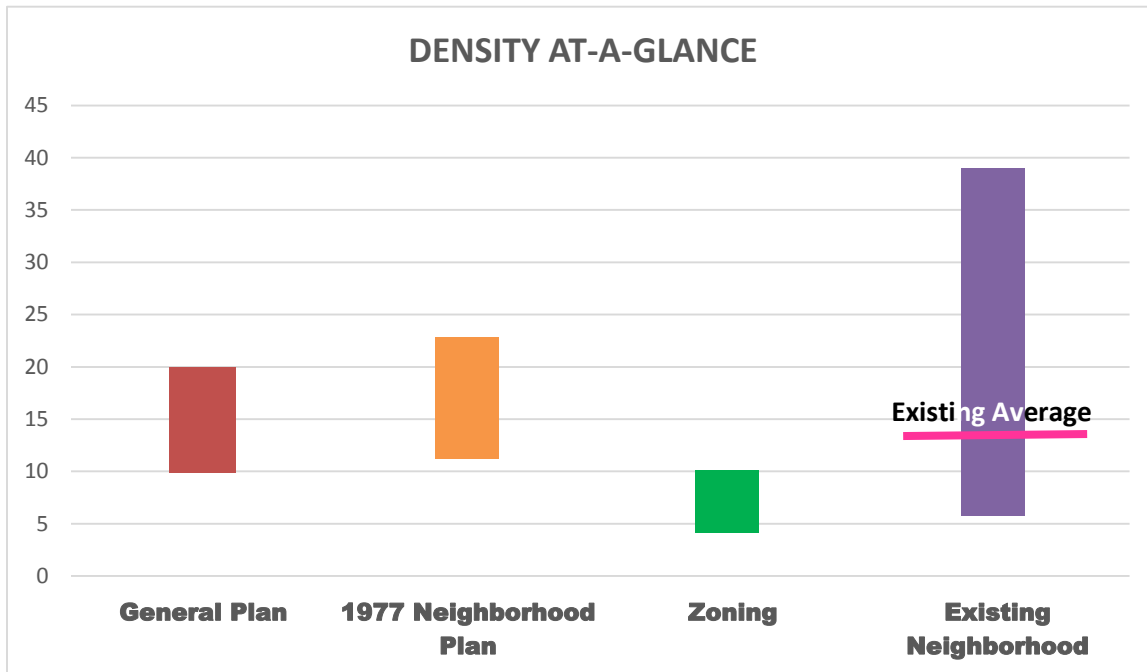
EXISTING ZONING

Most of the lots are small, narrow and deep – about 50 feet wide by 150 feet deep and 7,500 square feet in area. The current zoning permits one unit per 4,500 square feet of land area, so the typical lot only allows a single-family home. Some of the lots have small apartment

buildings, but many of these are “non-conforming,” since they exceed today’s allowable density and could not be rebuilt in the future with the same number of units.

General Plan

The General Plan designates the study area for Medium Density Multi-Family Residential, allowing between 10 and 20 dwelling units per acre. Land Use Policy 6 of the current 1996 General Plan continues the land use policies established in the 1977 Northwest Quadrant Plan, but called for an update of the Plan. Neither the update of the Plan nor the allowance for commercial uses in the Buffer Area immediately adjacent to the Grant Avenue commercial zoning were implemented.



Zoning Analysis

The R10 (Medium Density Multi-Family Residential) Zoning District is “intended for areas appropriate for a variety of medium density dwelling units, including multi-family, two-family and single family residences, either attached or detached.” As noted above, the R10-4.5 District allows up to 10 units per acre and building heights up to 35 feet tall (3 stories). A minimum front yard setback of 20 feet is required, as is a 20-foot minimum rear yard and 10-foot side setbacks for two or three story structures. The zoning regulations are summarized below.

Existing Medium Density Multi-Family Residential District Regulations

Max. Number Dwelling Units	1 du/ 4,500 sf of site area	
Min. Lot Area	6,000 sf	
Min. Lot Dimensions	60' min. width 100' min. depth	
Max. Height	35 ft	A
Min. Front Setback	20 ft	B
Min. Side Street Setback	10 ft, or 20 feet (bldg. height >20 ft, or for garage using side street access)	C
Min. Side Setback	6 ft (bldg. height <20 ft), or 10 ft (bldg. height >20 ft)	D
Min. Rear Setback	15 ft, or 20 ft (if rear property line abuts a single family zone)	E
Max. Building Coverage	40%	
Floor Area Ratio	n/a	
Multifamily Parking Count	1.2sp/studio; 1.5sp/1 bdrm; 2 sp/2 bdrm; 2.2 sp/3 bdrm; 1sp/ every 3 units for guests	F
Single-Family Parking Count	2 sp/unit; 1 in garage; 3 max.	F
Min. Open Space/Unit	500 sf (250 sf must be private)	

Notes:

- Max. 50% paved surface area in front setback.
- Allowable density reduced by 20 percent for lots less than 7,500 square feet or width less than 60 feet.

Typical Assumptions for Build-out Examples on Following Pages:

- 10-ft side setbacks are used to take advantage of 35 ft height limit, which allows for 11-ft tall ground floor and 10-ft tall upper floors.

According to the General Plan, for the Northwest Quadrant: “... Allow multi-family housing only in cases where the City makes the following findings: (1) That the rezoning would not encourage the demolition of a sound dwelling... (2) That the rezoning would not lead to the intrusion of apartments into a predominantly single-family area.”



Photo credit, Google Maps

Photo showing neighborhood's existing random pattern of build-out

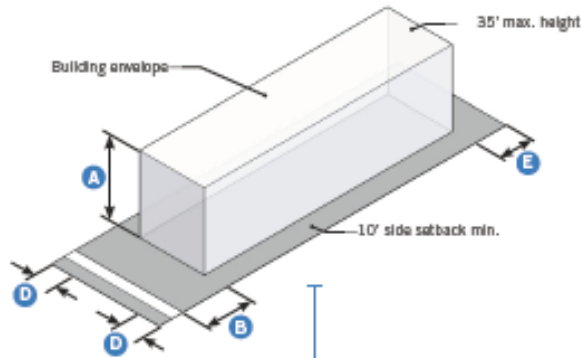


A large apartment building looming over a single-family home.

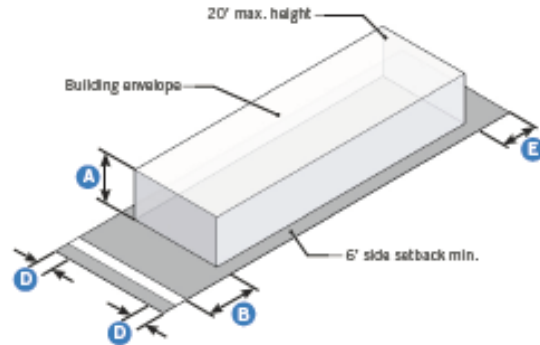
In order to better visualize and understand the existing zoning regulations and how fairly typical design solutions might result from these regulations, Opticos Design, Inc., the design consultants on this project, prepared the following “massing model” simulations of building layout and scale which could be built under the existing zoning regulations on lot sizes of 50’x150’, 100’x150’ and 150’x150’.

Small Lot Example: 50 ft x 150 ft

Allowable Building Envelope



Alternate Allowable Building Envelope

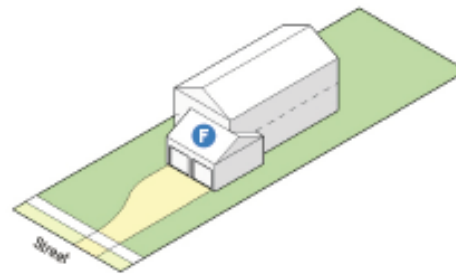


- A Max. Height
- B Front Setback
- C Side St. Setback
- D Side Setback
- E Rear Setback
- F Parking

Limiting Factors

Min. Lot Area / Dwelling Unit

Typical Build-out Encouraged by Zoning



Scenario 1

- 1 large detached house
- 3 off-street parking spaces (all covered)

Scenario 2

- 1 medium detached house
- 3 off-street parking spaces (two covered)

Development Scenario Statistics

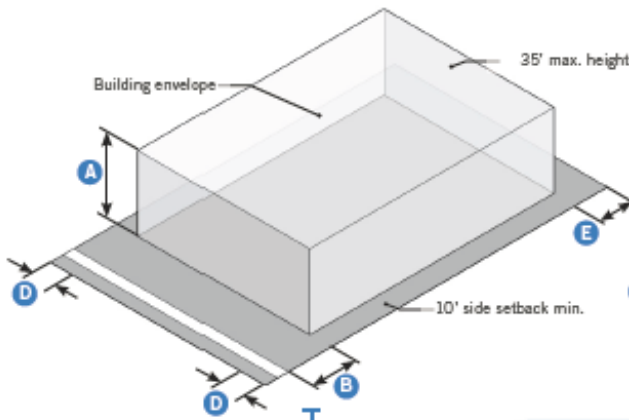
Lot Area	7,500 sq ft
Max. Number of Units	1 unit (Density= 5.88 du/acre)
Square Feet per Units Shown	4,500 sq ft/ 2,500 sq ft
Parking Required (and Shown)	3 spaces max. (1 in garage min.)
Building Height	35 ft/ 28 ft

Conclusions:

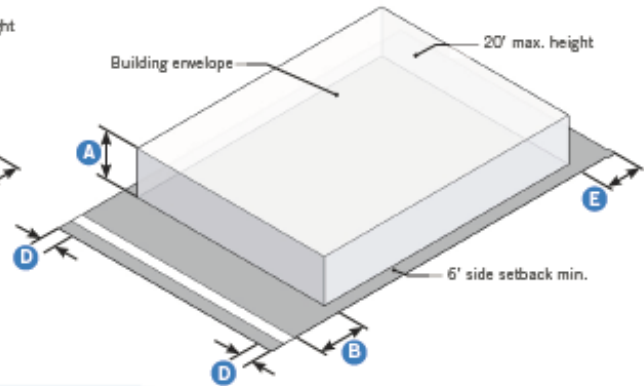
- Code encourages large homes on small lots. This will become an issue as value continues to grow.
- Code encourages large drives and garages along streetscape.

Medium Lot Example: 100 ft x 150 ft

Allowable Building Envelope



Alternate Allowable Building Envelope

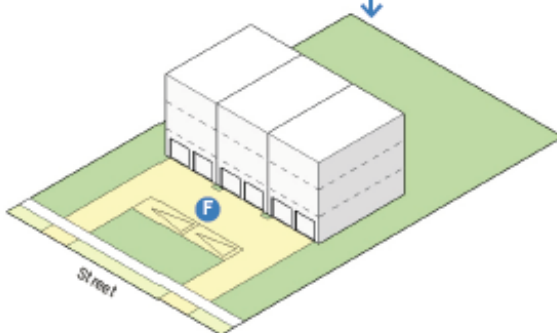


- A** Max. Height
- B** Front Setback
- C** Side St. Setback
- D** Side Setback
- E** Rear Setback
- F** Parking

Limiting Factors

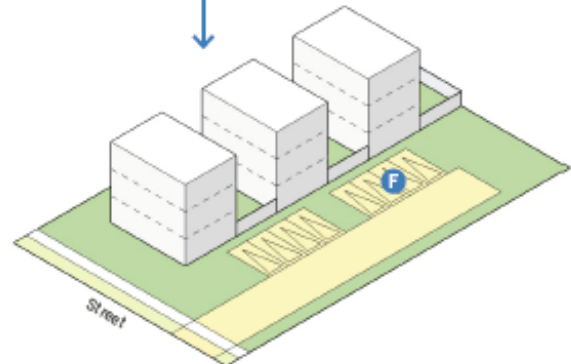
MIn. Lot Area / Dwelling Unit

Typical Build-out Encouraged by Zoning



Scenario 1

- 3 attached townhouses
- 8 off-street parking spaces (6 covered)



Scenario 2

- 3 detached townhouses
- 8 off-street parking spaces

Development Scenario Statistics

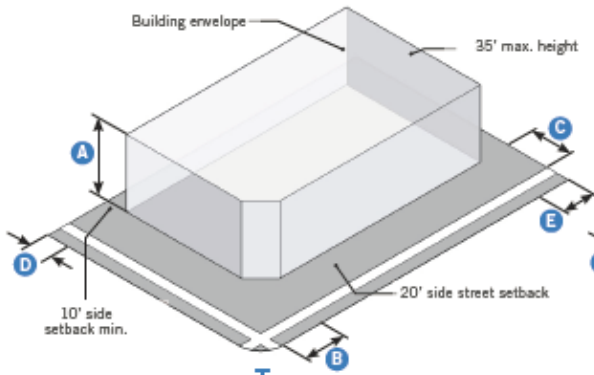
Lot Area	15,000 sq ft
Max. Number of Units	3 units (Density= 8.72 du/acre)
Square Feet per Units Shown	2,500 sq ft
Parking Required (and Shown)	8 spaces (2 guest)
Building Height	35 ft

Conclusions:

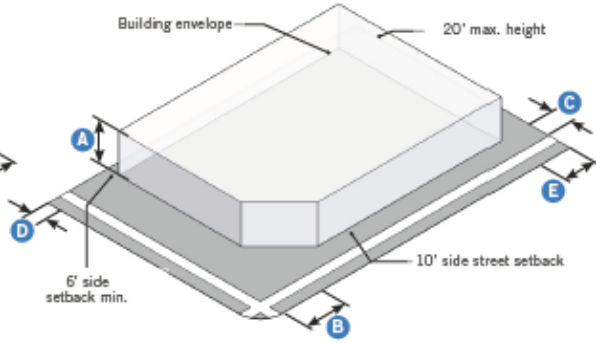
- *Most likely build-out scenario is a set of 3-story, flat-roof, detached houses.*
- *Build-out of 3 units is very economically inefficient so not likely viable.*

Medium Corner Lot Example: 100 ft x 150 ft

Allowable Building Envelope



Alternate Allowable Building Envelope



- A Max. Height
- B Front Setback
- C Side St. Setback
- D Side Setback
- E Rear Setback
- F Parking

Limiting Factors

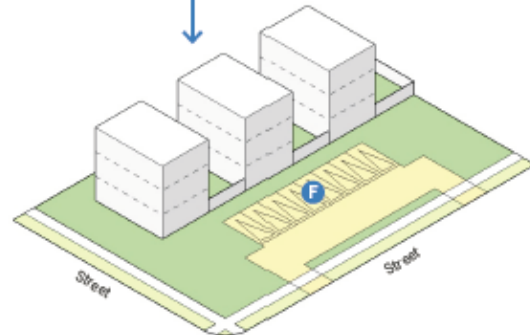
Min. Lot Area / Dwelling Unit

Typical Build-out Encouraged by Zoning



Scenario 1

- 3 attached townhouses
- 8 off-street parking spaces (6 covered)



Scenario 2

- 3 detached townhouses
- 8 off-street parking spaces

Development Scenario Statistics

Lot Area	15,000 sq ft
Max. Number of Units	3 units (Density= 8.72 du/acre)
Square Feet per Units Shown	2,500 sq ft
Parking Required (and Shown)	8 spaces (2 guest)
Building Height	35 ft

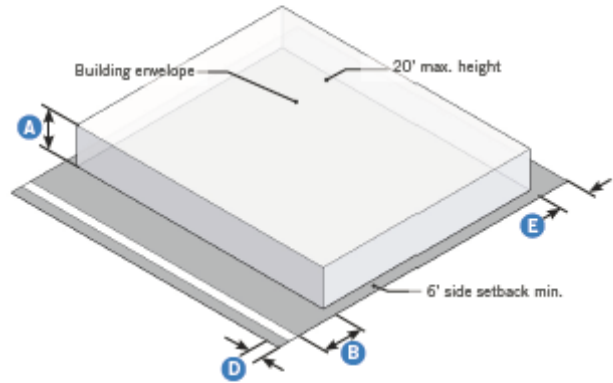
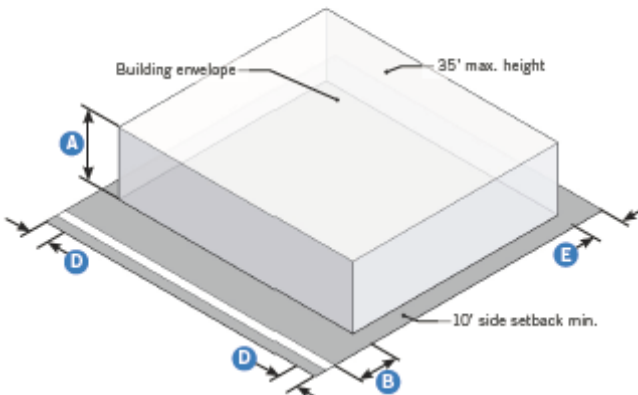
Conclusions:

- Large parking area or garages likely along both streetscapes.
- Most likely build-out scenario is a set of 3-story, flat-roof, detached houses.
- Build-out of 3 units is very economically inefficient so not likely viable.

Large Lot Example: 150 ft x 150 ft

Allowable Building Envelope

Alternate Allowable Building Envelope

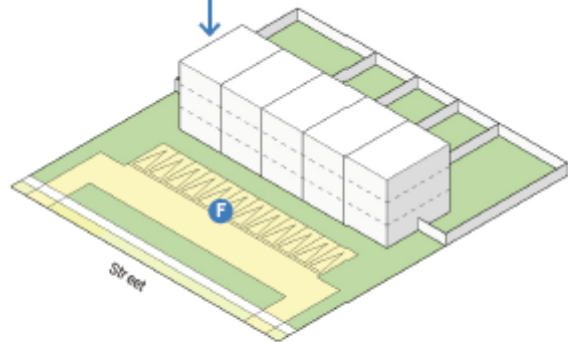
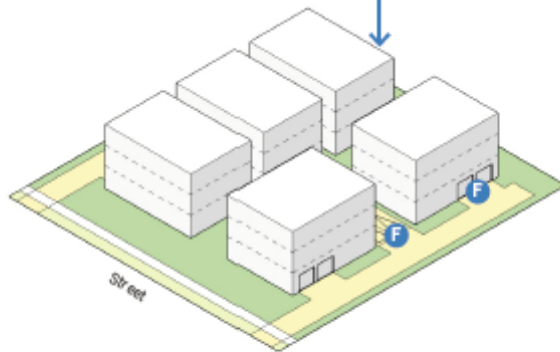


- A Max. Height
- B Front Setback
- C Side St. Setback
- D Side Setback
- E Rear Setback
- F Parking

Limiting Factors

MIn. Lot Area / Dwelling Unit

Typical Build-out Encouraged by Zoning



- Scenario 1**
- 5 large detached houses
 - 12 off-street parking spaces (10 covered)

- Scenario 2**
- 5 attached townhouses
 - 12 off-street parking spaces

Development Scenario Statistics

Lot Area	22,500 sq ft
Max. Number of Units	5 units (Density= 9.67 du/acre)
Square Feet per Units Shown	3,500 sq ft/ 2,500 sq ft
Parking Required (and Shown)	12 spaces (2 guest)
Building Height	35 ft

Conclusions:

- *Most likely build-out would be 5 single-family detached units forced onto the site.*
- *Current regulations are not encouraging creative, well-designed infill solutions.*

Findings from Current Regulations:

- With current restrictions on preserving sound single-family homes and the fact that most existing apartment sites exceed currently allowed densities of 10 units per acre, little development has or is likely to occur and reinvestment is discouraged.
- The current limitation on multi-family development based on the condition of an existing single-family home may encourage owners to allow homes to deteriorate to the point where demolition is necessary, allowing for rezoning.
- The current zoning regulations establish a development envelope within required setbacks and height limit that is long and narrow on the generally 150-foot deep lots in the neighborhood, limiting design options.
- The code encourages garage doors or parking areas along the streetscape.
- Given the low density limit on larger lots, developers are encouraged to build larger units to make projects profitable.
- The code does not include building form standards, making design results unpredictable.
- 3-story structures could be incompatible with existing development which is one and two-stories, unless designed very well.
- To develop a site at a higher density within the General Plan's Medium Density Multi-Family range requires a zoning change, which is a lengthy and costly process which adds substantially to unit prices and has less predictable results. The Habitat for Humanity project at 1112 Fourth Street approved in 2007 (see below) required a Planned Development rezoning.



Zoning Alternatives

As part of the update of the neighborhood plan, Opticos Design, Inc. was asked to present alternative building forms and types that, based on their evaluation of the existing neighborhood character, might yield more compatible development in the future, particularly given many local examples of poorly design, constructed and regulated multi-family housing built in the past. Opticos specializes in creating form-based zoning codes which are more fine-tuned to local conditions and character, and which dictate acceptable building forms, thereby increasing predictability in the design review process.

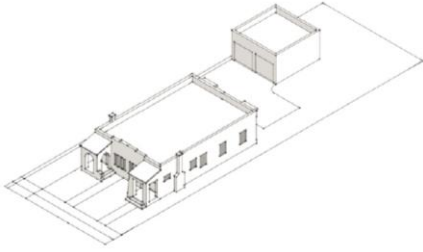
Dan Parolek, founder of Opticos, encourages reconsideration of what he terms “the Missing Middle” housing forms of yesteryears. These are small multi-family dwellings that often have the character of larger single-family homes, but are less dense and monolithic than higher density apartment or condominium complexes. The “Missing Middle” range of housing types which lie between single-family and apartment/condo. Developments, including duplexes (stacked or side-by-side), fourplexes, sixplexes and bungalow courts. These are graphically depicted below:



Housing Types

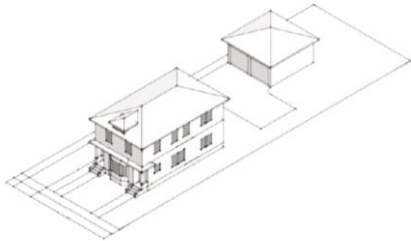
The following are representative images of the housing types which might be appropriate for consideration in the Northwest Quadrant Neighborhood:

DUPLEXES



Duplex - Side by Side

Lot Width:	50 ft
Lot Depth:	150 ft
# Units:	2
Net Density:	11.6 du/ac
Height:	14 ft
Setbacks:	
Front:	25 ft
Side:	6 ft
Side (driveway):	12 ft
Rear:	27 ft
Parking:	2 spaces

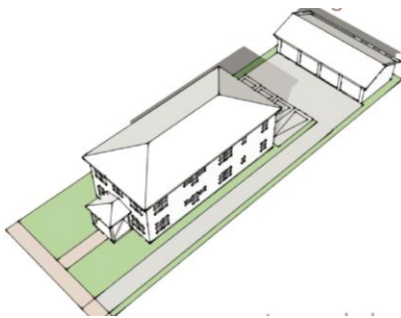


Duplex - Stacked

Lot Width:	50 ft
Lot Depth:	150 ft
# Units:	2
Net Density:	11.6 du/ac
Height: (to ridge)	14 ft
Setbacks:	
Front:	25 ft
Side:	6 ft
Side (driveway):	12 ft
Rear:	27 ft
Parking:	2 spaces



FOURPLEXES

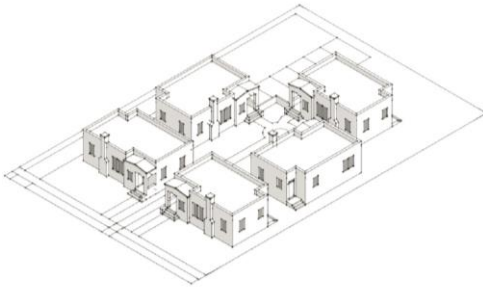


Fourplex

Lot Width:	50 ft
Lot Depth:	150 ft
# Units:	4
Net Density:	23.2 du/ac
Height: (to ridge)	26 ft
Setbacks:	
Front:	25 ft
Side:	6 ft
Side (driveway):	12 ft
Rear:	0 ft
Parking:	7 spaces



COTTAGE/BUNGALOW COURTS



Cottage Court	
Lot Width:	100 ft
Lot Depth:	150 ft
# Units:	6
Net Density:	17.4 du/ac
Height: (to ridge)	14.5 ft
Setbacks:	
Front:	10 ft
Side:	10 ft
Side (driveway):	12 ft
Rear:	15 ft
Parking:	6 spaces



1100 Olive Avenue: The Olive Avenue Apartments is an example of a Bungalow Court type of development with 16 one-bedroom, 1 and 2-story apartment units clustered around a central open space at 20 units/acre. These affordable units are available to residents with disabilities.

Visual Comparison of Development Alternatives

To provide a visual comparison of potential development massing under existing zoning, General Plan allowances and a possible form-based alternative Opticos Design prepared the following massing models for two lot sizes.

50' x 100' Parcel:



Existing vacant parcel



Building massing potential under Current Zoning – 1 single-family home



Current potential under General Plan – 3-unit apartment, parking in front



Alternative housing type: Fourplex with parking behind

100' x 300' Parcel:



Existing vacant parcel



**Building massing potential under Current Zoning –
5 three-story townhouses**



**Current potential under General Plan –
12 three-story townhouses**



Alternative housing type: 14-unit Bungalow Court

Characteristics of Walkable Neighborhoods

The Northwest Quadrant has some characteristics which define a walkable neighborhood, including its proximity to downtown services and transit and its mix of housing types. However, opportunities exist when development or redevelopment occurs to further encourage walking or biking for improved mobility. The following were presented as physical characteristics of walkable neighborhoods:

<p>Diversity of Housing Choices</p> <p>A diverse mix of neighborhood-appropriate housing choices makes a neighborhood accessible to a variety of families and residents.</p>		
		<p>Parking Screened or Hidden From the Street</p> <p>Neighborhoods feel more people-oriented and pedestrian-friendly when parking is located at the rear of a lot, behind a building or behind a landscape or architecture screen.</p>
<p>Engaging Building Fronts</p> <p>Frontages such as porches and stoops encourage sociability and help to activate the street, making a safer, more inviting environment for pedestrians.</p>		
		<p>Pedestrian and Bicycle Amenities</p> <p>Permanent and movable seating, bike racks, shaded sidewalks, waste and recycle bins, water fountains and pedestrian-scaled lighting make a place comfortable and attractive for pedestrians and cyclists.</p>
<p>Clear Definition of Public and Private Spaces</p> <p>Low fences or walls around the perimeter of a lot help to reinforce the public realm and defines the street as a public, outdoor room.</p>		
		<p>Everyday Destinations within Walking Distance</p> <p>Providing access to everyday shopping, employment and entertainment destinations within walking distance of residences activates the street by encouraging neighbors to walk and cycle to destinations.</p>

Public Process

To facilitate informed public input into the update of the neighborhood plan two community workshops and a walking tour were held on March 14 and 25, 2015. All 600+ property owners were mailed fliers, each dwelling unit received a bilingual door hanger, and bilingual posters were displayed throughout the neighborhood and the downtown.

Approximately 60 persons attended the first workshop and walking tour, and about 40 attended the second. The first workshop entailed small group discussions and mapping of neighborhood assets, constraints and opportunities and a presentation by the consultant Dan Parolek of his analysis of the existing zoning regulations and design alternatives.

Based on the community feedback from the first workshop, the second workshop focused on a presentation of neighborhood objectives and possible solutions for community reaction. The results of the participant feedback is found in Appendix 3. In summary, the majority of attendees seemed very supportive of improvements to slow traffic on Vallejo and Olive Avenues, to improve code enforcement of neglected properties, and to consider zoning changes that would incentivize redevelopment that is in keeping with the lower-scale character of the neighborhood. Some residents, however, expressed concerns over possible redevelopment of existing single-family homes.



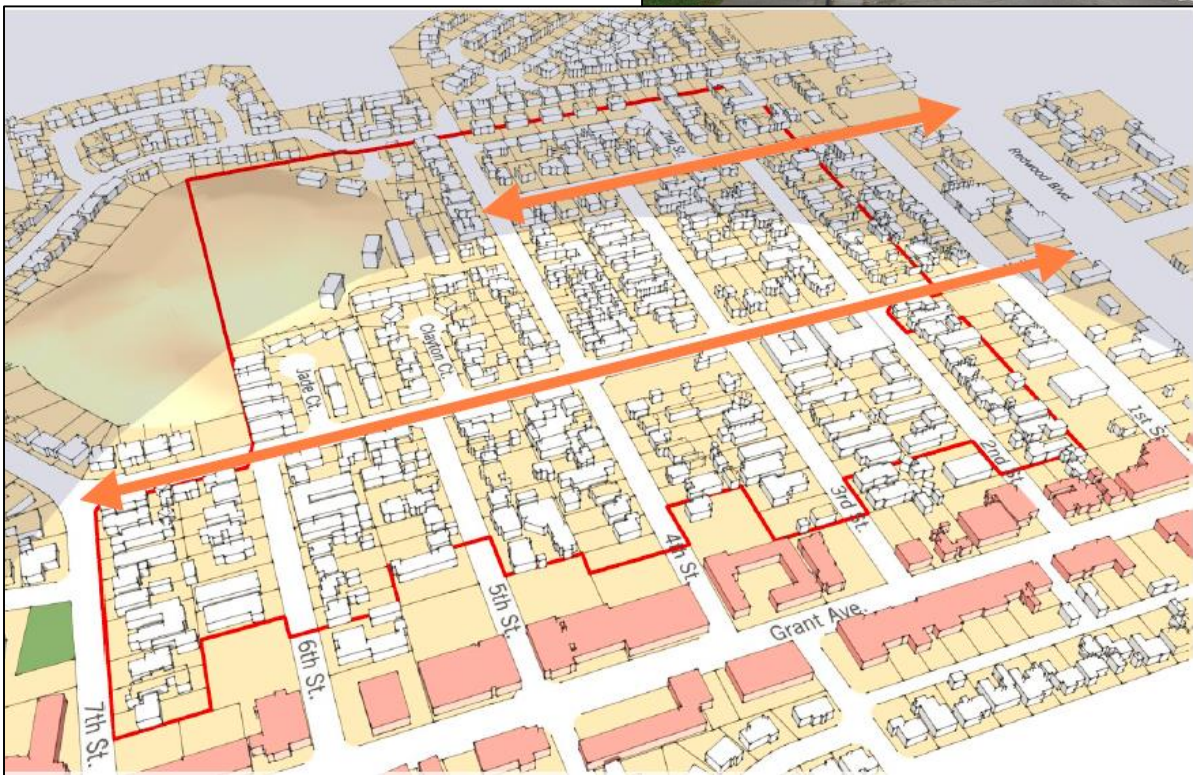
Vision Statement

“The Northwest Quadrant Neighborhood is an historic, walkable neighborhood that has the potential to see increased reinvestment and revitalization through development of carefully designed housing types that ensure compatibility with the scale and diversity of residences (both single-family and small scale multi-family housing types) while preserving and enhancing the sense of community.”

Neighborhood Objectives

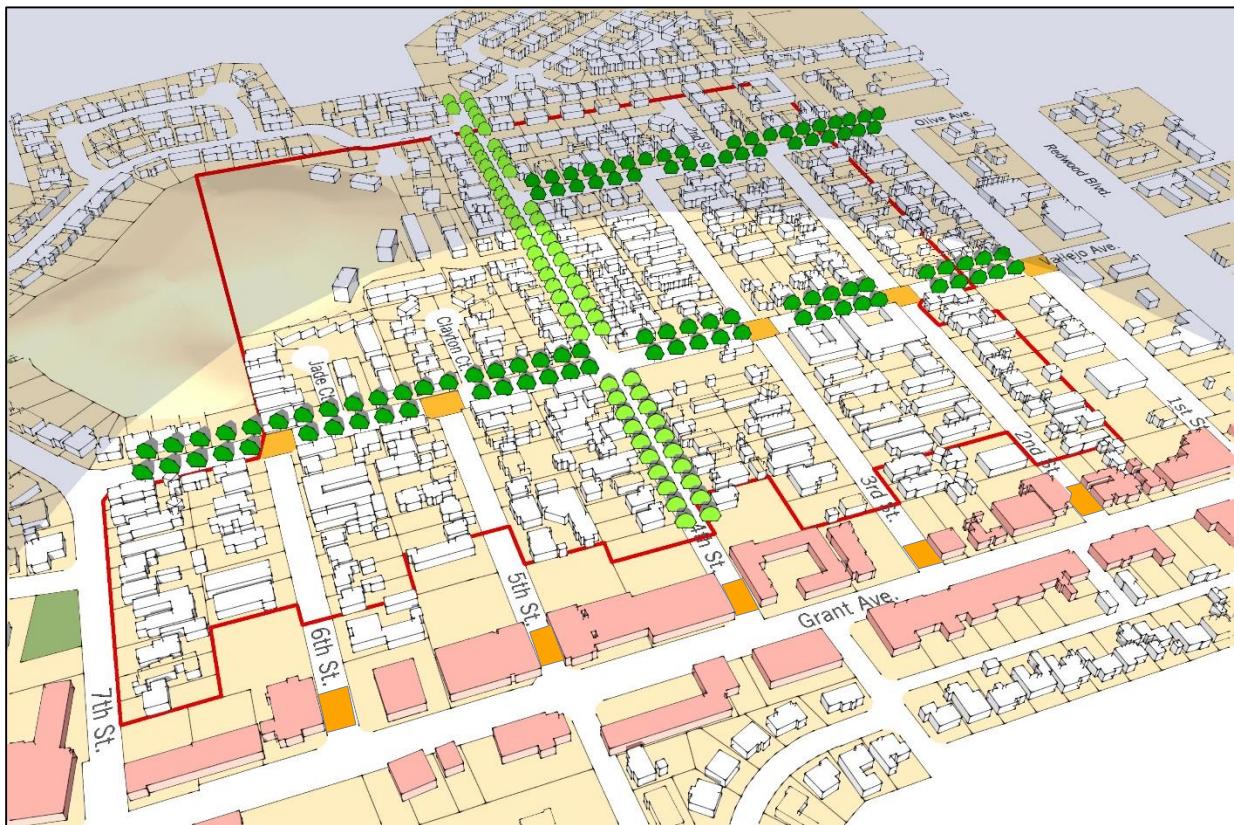
1. Slow Down Traffic through the Neighborhood

- Evaluate and implement physical modifications (traffic calming techniques) and signage to decrease vehicular speeds on Vallejo and Olive Avenues.



2. Improve Pedestrian Safety and Walkability

- Evaluate specialty paving and raised table crosswalks at key intersections to distinguish entry into the residential neighborhood and to slow traffic.
- Encourage and assist property owners with the planting of street trees in landscape medians where they exist and in front yards where planting strips do not exist, particularly Vallejo and Olive Avenues and Fourth Street. Consider options such as discounted trees through bulk purchase and assistance with planting in exchange for maintenance of new street trees by property owners.





Examples of raised table crosswalks.

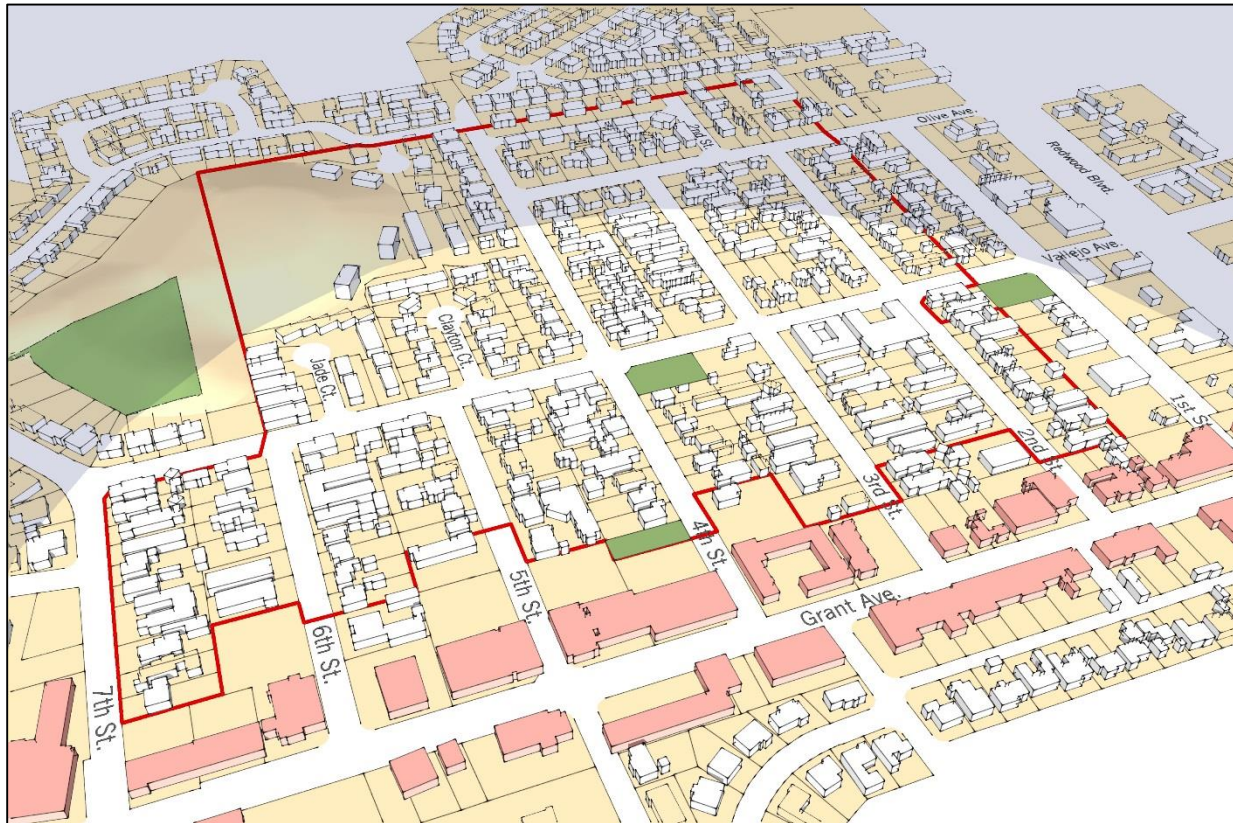
3. Strengthen Neighborhood Identity

- Denote gateway entries into the neighborhood with specialty paving, decorative features and/or signage.
- Explore options for unique signage to identify the neighborhood.



4. Explore Potential for Additional Park Space

- Explore options to create an additional park/tot lot on existing vacant or underutilized parcels.
- Explore the creation of a path and overlook area utilizing existing City property at the top of the hill northwest of the neighborhood.

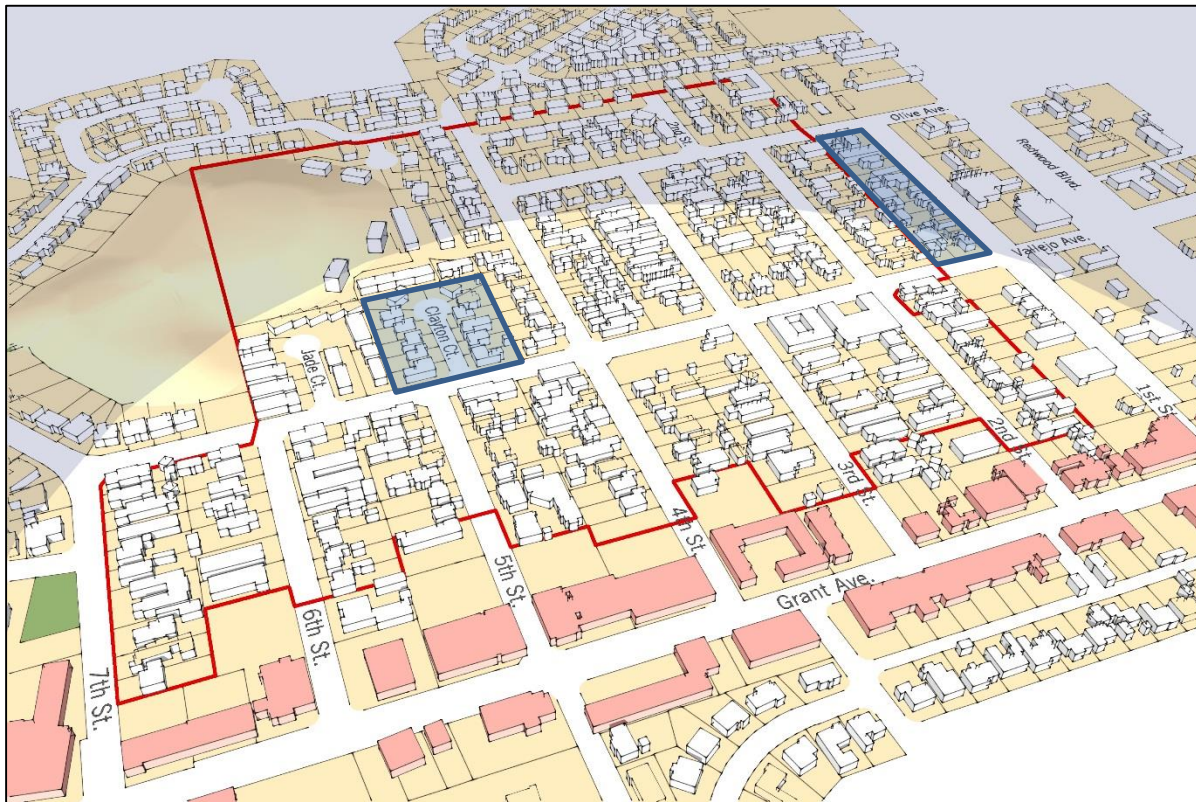


5. Prioritize Code Enforcement

- Enforce existing property use and maintenance standards to address public nuisances such as vehicle storage, landscape upkeep and illegal commercial uses.

6. Consider Designating Sub-Areas Differently

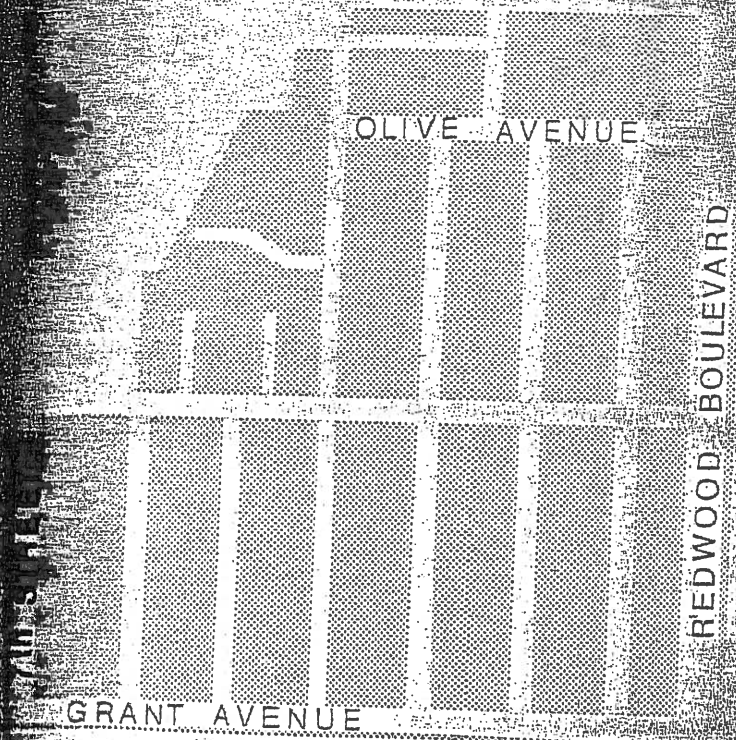
- Consider designating Clayton Court as a single-family land use and zoning district in recognition of its current development pattern.
- Consider a land use and zoning redesignation for the westerly side of First Street from Olive to Vallejo from Mixed Use to Medium Density Multi-Family (identical to the rest of the NW Quadrant neighborhood) which would eliminate the requirement for commercial development in recognition of its current development pattern which is almost entirely residential.



7. Refine Zoning Regulations to Ensure Compatible Development

- Consider elimination or revision of the current policy which precludes redevelopment of properties that contain a “sound” single-family dwelling. Also consider incentives for retention of single-family homes, such as allowing one additional dwelling on standard lot sizes.
- Adopt new form-based zoning regulations and design guidelines to ensure compatible development within the Medium Density Multi-Family density range (10-20 units/acre). These zoning regulations/design guidelines should result in new development which:
 - Is in scale with the existing neighborhood, limiting heights to two stories, calling for “house-form” buildings (single-family, duplexes, triplexes, fourplexes and bungalow courts) with maximum width and depth established for each building type to reinforce the small-scale residential character of the neighborhood and incentivizing smaller unit sizes,
 - Is varied in physical type and design to provide interest and reinforce the diversity of the neighborhood,
 - Results in an active street front where residents can meet and interact. Housing should be oriented towards the street with unit entries, porches and patios facing the street, with surface parking and garages towards the rear and not visible from the street and canopy trees planted in front yards and sidewalk planting strips where they exist, and
 - Careful consideration of privacy impacts and on-site parking requirements.
- Revise zoning regulations for non-conforming apartments in the study area to allow replacement of the existing number of units provided they comply with the new form-based criteria.
- Periodically evaluate new zoning regulations to assure that resulting development is compatible with the existing neighborhood.

APPENDIX 1: 1977 NORTHWEST QUADRANT PLAN



NORTH ↗
← WEST
QUAD-
RANT
PLAN

NOVATO PLANNING DEPARTMENT
NOVEMBER 1977

NOVATO CITY COUNCIL

David Milano, Mayor
Gail Wilhelm, Protem
Robert Burke
Robert Stockwell
Harvey Yorke

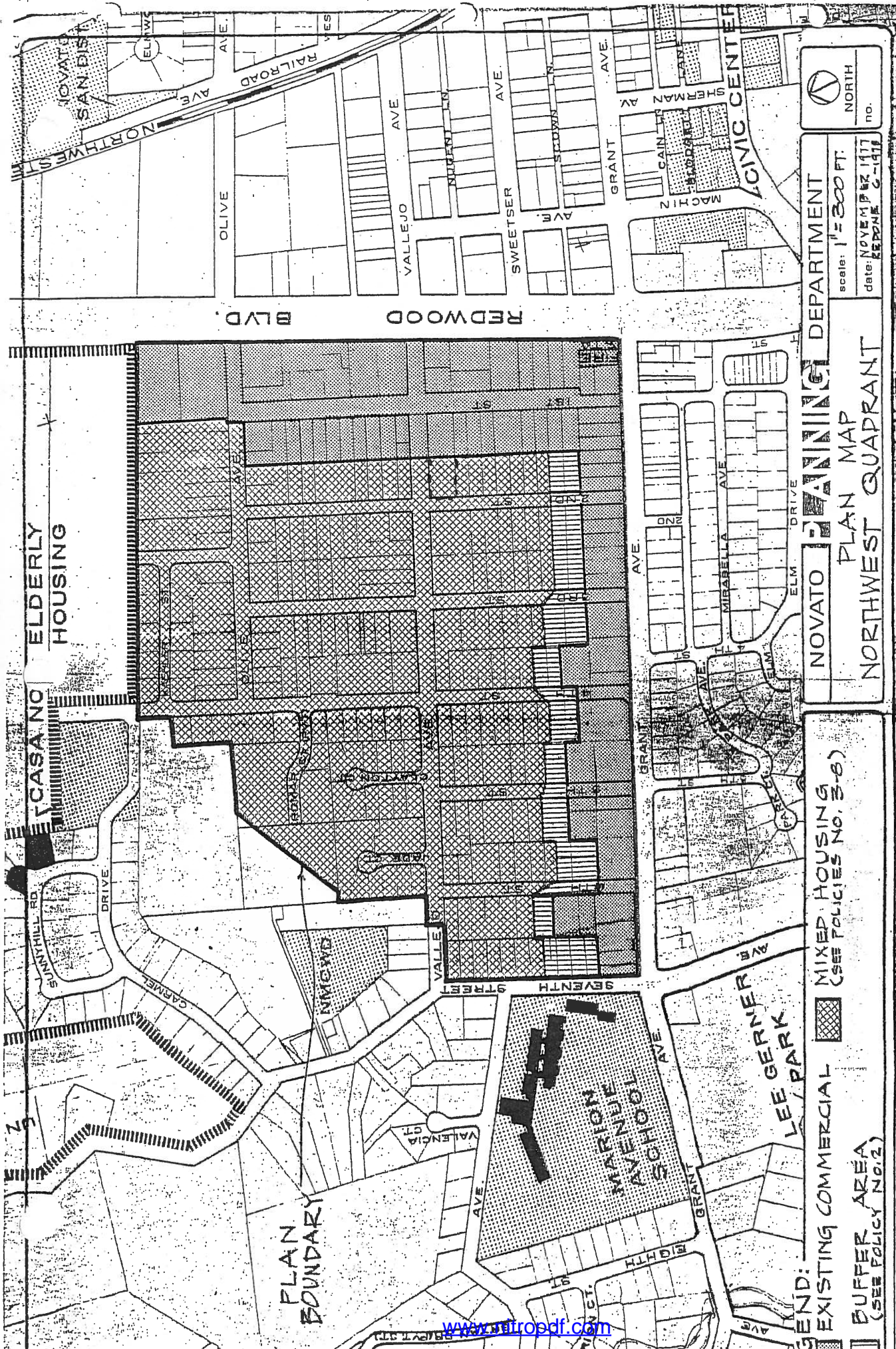
NOVATO PLANNING COMMISSION

Richard O'Connell, Chairman
Patricia O'Neill, Vice-Chairman
Ned Dean
Ellen Fusso
Robert Glascock
Dennis McQuaid
John Schoonover

PLANNING STAFF

Brian Mattson, Planning Director
Mark Westfall, Principal Planner
Charles Linthicum, Principal Planner
Michael Harlock, Planner II
James McCulloch, Planner II

Darrell Bolognesi, Planner I
Leslie Carmichael, Planning Tech.
Paul Mathes, Graphics Technician
Juanita Gibson, Departmental Secty.



ELDERLY HOUSING

CASA NO

PLAN BOUNDARY

MIXED HOUSING
(SEE POLICIES NO. 3-6)

EXISTING COMMERCIAL

BUFFER AREA
(SEE POLICY NO. 2)

NOVATO PLANNING DEPARTMENT
PLAN MAP
NORTHWEST QUADRANT

NORTH
no.

scale: 1" = 300 FT.
date: NOVEMBER 1977
RESPONSE C-1418

CITY COUNCIL OF THE CITY OF NOVATO

RESOLUTION NO. 211-77

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NOVATO AMENDING
THE LAND USE ELEMENT OF THE NOVATO GENERAL PLAN (DOWNTOWN PLAN)

WHEREAS, the Novato General Plan was adopted by the City Council in June 1973; and

WHEREAS, it is desirable to review and amend the General Plan to keep it up to date as an expression of development policy; and

WHEREAS, the Planning Commission has held public hearings on April 18, May 2, June 6, August 22, August 29, and September 19, 1977; and the City Council has held public hearings on July 5, August 9, October 4, October 27, November 22, and November 29, 1977, to consider certain amendments to the General Plan Land Use Element (Downtown Plan), dealing with the area known as the Northwest Quadrant;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Novato approves the following amendments to the Land Use Element:

1. The attached Northwest Quadrant Plan is hereby adopted as a part of the Novato General Plan.
2. The Land Use Element Map shall be amended to refer to the Northwest Quadrant Plan as delineated on the attached map.
3. In the Downtown Plan & Program, the Subarea Identification Map following Page 9, the diagrams labeled DN1 through DN4, and the Plan & Program for the West Grant subarea shall be amended to delete the noncommercial areas.

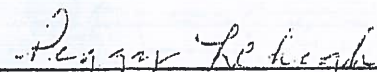
* * * *

I HEREBY CERTIFY that the foregoing resolution was duly and regularly adopted by the City Council of the City of Novato, Marin County, California, at a regular meeting thereof, held on the 29th day of November, 1977, by the following vote, to wit:

AYES: Council Members Burke, Yorke, Wilhelm, Milano

NOES: Council Member Stockwell

ABSENT: None



Peggy Lehigh, City Clerk

Approved as to form:

Clark Palmer, City Attorney

NORTHWEST QUADRANT PLAN

PLAN AREA

The area covered by this plan is delineated on the Plan Map. This includes portions of the North Redwood Boulevard and West Grant Avenue subareas of the Downtown Plan & Program. The design standards contained in the Downtown Plan area for those subareas will remain unchanged.

The policies and standards of this Plan are mainly addressed to the residential areas west of 1st Street and north of the Grant Avenue commercial district.

BACKGROUND

This Plan is an amendment to the Novato Downtown Plan, which is a part of the Novato General Plan. This amendment was adopted on 11/29/77 by City Council Resolution No. 211-77 after 14 public review meetings or hearings.

Prior to those hearings, a Northwest Quadrant Study was prepared. It contains background data and analysis about the area and its development, and is available at the Novato Planning Department. Also available at the Planning Department are the files containing a record of public comments, alternative plans, etc., which led to the adopted plan.

Landowners, residents, developers and interested citizens are urged to seek assistance from the City Planning Department on any question about this Plan and its policies.

LAND USE POLICY

The long-range land use policy for the Northwest Quadrant is to maintain a mixed residential area. More specifically, the City's goal is to allow a relatively high population concentration to support downtown commercial enterprises, and offer less expensive housing in a location which is close to shopping, employment, transit, and major collector streets.

The City's long-range policy takes into consideration the large number of existing single-family homes in the area, many of which are occupied by persons who could not afford other housing in Novato. **Those single-family homes which are in sound condition should not be removed for apartment construction.**

The following specific policies are adopted for the area:

1. Land use policies for the Redwood Boulevard, First Street, and Grant Avenue commercial frontages will remain unchanged.
2. The interface between the Grant Avenue commercial frontage and the residential areas on 2nd through 7th Streets shall provide buffering between the noise, lights, etc., from parking areas and living environments. The Plan Map shows the areas included in such a buffer; these lots will not be approved for new residential development unless parcel size, aggregation of parcels, or site plan design, provides for barriers, setbacks, residence orientation/location, etc., which will reduce intrusion of noise, fumes and light into dwellings. Offices, institutions, or similar nonresidential uses in this area are encouraged, in order to provide a transition between the commercial and residential uses.

In approving any design for residential development in the buffer area, the Plan Review Committee shall find that the design provides the maximum feasible reduction of noise, fumes, and light intrusion into residential units.

3. In the area labelled "MIXED HOUSING" on the Plan Map, the objective is to maintain a desirable living environment with a broad variety of housing types and prices.
 - a. R-2 zoning, to allow duplexes or two single-family homes per lot, is permitted anywhere in the area.
 - b. R-3 zoning is permitted only in cases where the City makes the following findings:
 - 1) That the rezoning would not encourage the demolition of a sound dwelling; in order to demonstrate that rezoning would not encourage the demolition of a sound dwelling, an applicant must either present a factual report on the physical condition of the existing dwelling, including an estimate of the cost of needed repairs; or present a feasible site plan showing incorporation of the existing dwelling into future development.
 - 2) That the rezoning would not lead to the intrusion of apartments into a predominantly single-family area.
4. Rezoning, if it meets the findings in Policy 3, shall be for maximum densities as follows:
 - a. For lots less than 7,500 square feet in area, maximum density shall be two units.
 - b. For lots 7,500 to 14,999 square feet in area, maximum density shall be limited to one unit per 2,000 square feet. Where a parcel has an average width of less than 60 feet, the number of permitted dwellings shall be reduced by 20 percent.
 - c. For lots 15,000 square feet and larger, maximum density shall be limited to one unit per 1,875 square feet.
5. Existing R-3 zoning on unconverted property will be amended to be consistent with the provisions of this Plan.
6. All single-family zoning in the Plan Area will be converted to R-1:B-1 (6000 sq. ft. minimum lot size).
7. Uses such as churches and other institutions, private recreational facilities, etc., should also be allowed on a case-by-case basis, where such development will not have a negative impact on the residential character of the particular block in question. Such uses are generally allowed by use permit, rather than rezoning.
8. Aggregation of parcels to achieve higher densities will require simultaneous development of the aggregated parcels.

CIRCULATION, TRAFFIC, STREET IMPROVEMENTS

No changes in the existing circulation pattern are proposed. The street improvement schedule as contained in the City's Capital Improvement Program is listed on page 17 of the Northwest Quadrant Study.

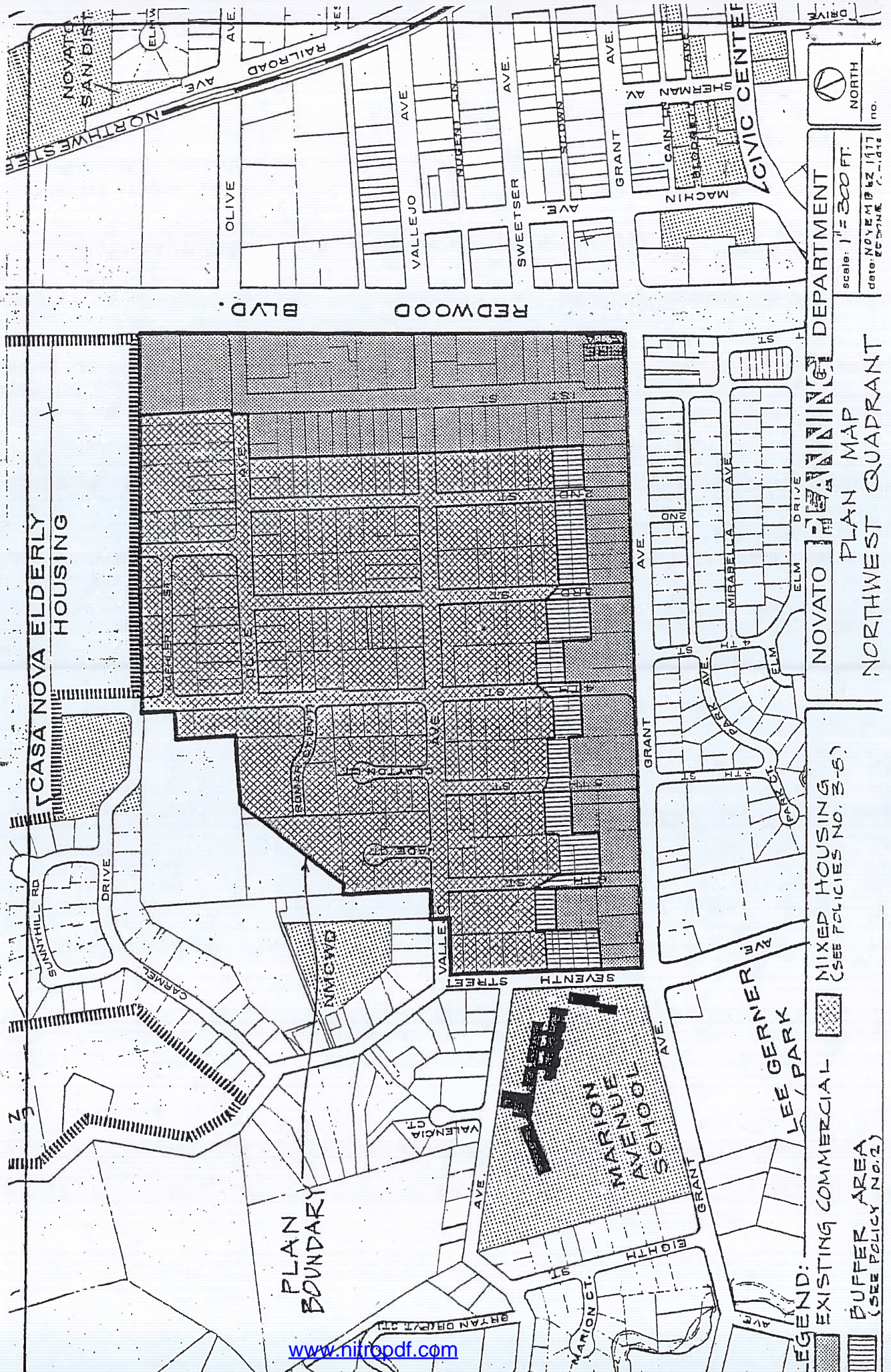
Radar speed enforcement on Vallejo Avenue will be undertaken by the Police Department and repeated as needed.

PARKS & OPEN SPACE

The City's Recreation Facilities Plan provides for a neighborhood park in this area after 1980. The Parks & Recreation Commission will review this schedule to see if provision can be made earlier for a tot lot and sitting area.

This plan does not identify a prime site for such a park, although there are two possible general locations: a location central to the residential areas, or a buffer strip location close to Grant Avenue. Ideally, one of each should be built.

Larger scale open space needs should be met by permanent preservation of the open areas of Marion School and the proposed County park near 7th and Carmel.



CASA NOVA ELDERLY HOUSING

PLAN BOUNDARY

NOVATO PLANNING DEPARTMENT

Scale: 1" = 300 FT.
 date: NOVEMBER 1977
 EC-55-117 no.

MIXED HOUSING (SEE POLICIES NO. 3-5)

LEGEND:
 EXISTING COMMERCIAL
 BUFFER AREA (SEE POLICY NO. 2)

PLAN MAP
 NORTHWEST QUADRANT

NOVATO PLANNING DEPARTMENT

MIXED HOUSING (SEE POLICIES NO. 3-5)

LEGEND:
 EXISTING COMMERCIAL
 BUFFER AREA (SEE POLICY NO. 2)

PLAN MAP
 NORTHWEST QUADRANT

NOVATO PLANNING DEPARTMENT

Scale: 1" = 300 FT.
 date: NOVEMBER 1977
 EC-55-117 no.



Existing Neighborhood Character

Downtown Northwest Neighborhood Study

January 2015
Novato, California





APPENDIX 3: WORKSHOP PARTICIPANT FEEDBACK

Summary of Northwest Quadrant Neighborhood Workshop Walking Tour Comments (3/14/15)

What does the study area look and feel like today?

- Old and tired and in need of rejuvenation.
- It's sad how many of the cute houses need new paint and landscaping.
- The neighborhood looks untended and unmanaged. It is a hodgepodge of styles and random growth.
- The cottages and farmhouses are evocative of Novato's agricultural and pioneer spirit.
- Many unkempt homes.
- Some gentrifying.
- Trash on corners/streets.
- Looks like no pride in neighborhood.
- Not walker friendly.
- Lacks a sense of community.
- I have empathy for the people inside this area. The single family owners are outnumbered by renters. Landlords have not represented themselves today. The single family folks are living where they can afford and area proud of them home.
- Noticed a hodgepodge of buildings.
- Need code enforcement.
- A bit of a hodgepodge – not consistent when it comes to sidewalks, stop signs, bike lane and trees.
- Too many empty lots used as dumping ground.
- The apartment development is unsightly and brings more people in the neighborhood than traffic controls can direct.
- Area feels a little confused. Some real nice, some just nice and total crap.
- Same old. Nothing changes. Increase density. Turn single family homes into courtyard bungalows, etc.

What do you consider some of the challenges we'll need to address in creating a planning vision for this area?

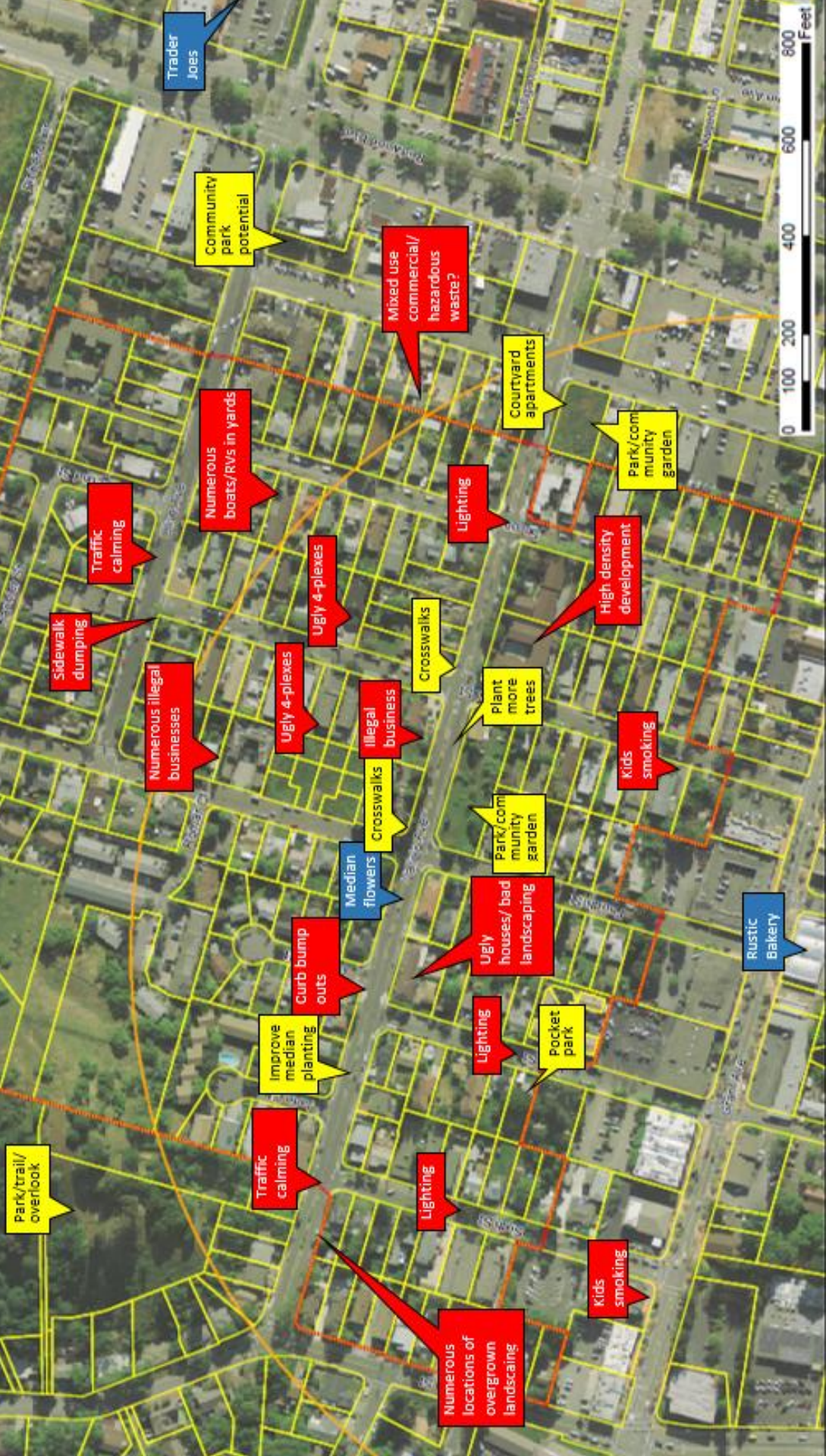
- Smaller lot size requirement, smaller setbacks and lower fees to add water/sewer for second units or divided lots.
- Cooperation between landlords.
- Creating consensus, agreeing on "What does a single family home look like in 2015?"
- Parking spaces off street for existing units and new construction. Get the cars off the street to put bike lanes, speed bumps and roundabouts to slow traffic.
- Get views of renters and businesses.
- Respecting and listening to views of people who live in the neighborhood (renters and homeowners) while moving towards long term future goals.

- Creating a dynamic downtown that will draw in residents who want to live in a community that has a walkable downtown.
- The charm of Novato is that it's a small town with small time character. How do you build for the future with an objective of high growth and maintain the essential nature that makes Novato a great place to live.
- Making sure we do not have over density type units that will take away the look and quality of life in our neighborhood.

What are some of the important opportunities this area offers for redevelopment?

- The downtown area is ripe with opportunities: community center, park, or square; beautify the existing area; improve walkability; art; bike paths; points of interest – skating rink/movie theater.
- Well located to downtown.
- Due to the fact that most lots are built, it would be nice to allow smaller lots more density to encourage growth and rejuvenation.
- Able to beautify (cleaning and pretty landscaping) without touching the building.
- Help create more of a community.
- Communicate to the neighborhood what is happening in Downtown.
- Landlords should be required to clean up their units. They are the ones charging the big bucks.
- Where there is a home being run down, a person should be able to build a new home, but nothing extravagant. Sonoma, Pacific Grove and Carmel are all doing this.
- Our location – downtown facilities, traffic control, keeping neighborhood safe, great for families.
- Build greener, more eco-friendly homes. Create homes with less lawns, more communal space. Create something that is truly walkable.
- Joint elderly living complexes.
- The neighborhood has the last affordable homes in Marin. Many families want stand along SF homes, not a development of a park like the Habitat for Humanity. New home owners spend a lot of money on upgrades that house a home. The neighborhood has been the dumping ground for years of every project that never and more prosperous neighborhoods don't want in their area. High density means more absentee landlords – check police reports – worst neighborhoods are blocks with high density units.

Mapping Neighborhood Assets, Constraints and Opportunities



- Neighborhood Assets
- Neighborhood Constraints
- Neighborhood Opportunity

Participant Feedback – March 25, 2015

1

Slow Down Traffic Through Neighborhood



Comments:

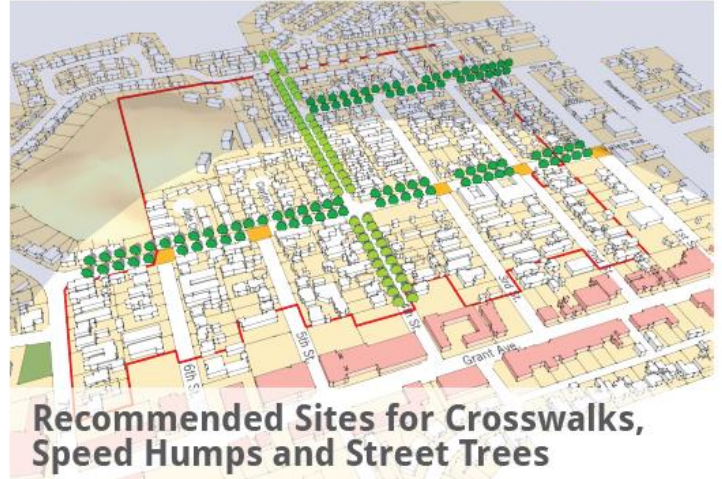
Recommended Streets to Implement Traffic Calming (Vallejo & Olive)

COMMENTS:

- Good idea (3).
- I would like to see the intersection bricks to beautify Vallejo & Olive.
- I do not want you to divide the transitional blocks. I want a cohesive look to the community.
- Stop sign at 2nd & Vallejo (blind corner many accidents). Big crosswalks at 3rd & 4th on Vallejo.
- Yes, and add trees.
- Add multiple crosswalks, trees, like the idea of “borders”, beautiful to create/encourage lollygagging.
- Trees! Plants! Use xeriscape and permaculture.
- Trees, speed bumps, crosswalks, police patrols (avoid pushing traffic onto Carmel Drive).
- Discourage thoroughfare and bypassing Grant.
- While recognizing our neighbors have input to encourage traffic calming solutions, we do not feel traffic on Vallejo or Olive is destined to get worse in general.
- Agree.
- Entrance sidewalks and roundabouts sound good.
- Yes, please.
- More crosswalks. Limited hours for street parking.
- Reduce speed to 15 mph.

Improve Pedestrian Safety & Walkability

2



COMMENTS:

- Yes, trees would work well for the street. I would also like bump outs into the street to allow trees to calm parking and for visual improvement.
- Yes, but no speed bumps.
- Add multiple crosswalks, light strips, trees, more bike lanes/racks, more places to go and encourage lollygagging.
- Clean streets.
- Anything that could slow traffic and signify that children and families live nearby.
- Street trees look wonderful.
- Good idea (3).
- Bike lanes and crosswalks.
- Support all these ideas as well as raised thresholds at entrances to neighborhood.
- Crosswalks would be appropriate. Trees are nice but have no immediate influence on zoning.
- Cross walks, and yes, lots of trees.
- Also consider limiting street parking to one side. Reduces street clutter.
- Very important!
- Crosswalks are good. Speed bumps are a bad idea. Street trees: all the same type on both sides of the street is a good idea.
- Install walkways where handicapped curb cuts exist.
- Make walkways into speed humps, the same width as walkway.

3

Explore Potential for Park Space or Tot Lot



Potential Sites for Park or Tot Lot

COMMENTS:

- More than a tot lot – a larger space.
- At least one park, please.
- Open space (City owned site) off 7th as greenbelt or trail & overlook.
- Community garden or park.
- Difficult to find space to implement. Could City offer financial help to families who want to create usable xeriscape?
- Kids need parks!
- Good idea (3).
- Purchase adjacent parcels for park/trail on City parcel at 7th/Carmel.
- Access lot to City's parcel on the hill is vacant & possibility for acquisition.
- Do not see the necessity for a neighborhood park with so much open space nearby.
- City should buy the remaining 3 acres on the hill and create a trail/park.
- Park or community garden to bring people together.
- The City should buy the three vacant lots and create a park for the future of this neighborhood. The residents can create a crowd-funded park.
- We don't need parks. We took our kids to the one on 7th and the big field and neither are utilized.
- Depends on location and whether or not City would lease or buy property.
- Only in conjunction with a city-wide parking review.
- Underground parking for larger lots, if possible.
- City to pass tax to help buy empty lots.

4

Strengthen Neighborhood Identity



COMMENTS:

- Create a contest to name the neighborhood and add signs.
- Good idea (5).
- Yes, but the neighborhood needs a catchy name first.
- Streetlights, borders, community spaces.
- Attractive!
- Not necessary (3).
- Support efforts.
- Allow this signage.
- A good neighborhood name is needed – “Hillview.”
- Agree.
- Branding or identification is actually a detraction from the neighborhood’s character.
- Small, inexpensive touches like signage would improve the neighborhood. Also would like to see decorative torches added to the street.

Prioritize Code Enforcement

5

COMMENTS:

- Enforce your codes and ordinances truthfully.
- Good idea ().
- Safety, walkability & cleanliness. One a week remove cars for regular street cleaning.
- Code Enforcement Division is user friendly.
- Illegal businesses.
- Parking permits?
- Spread the word about code enforcement process.
- Do a better job!
- Change code that allows people to park multiple vehicles on area in front of home.
- Yes, tell neighbors they need to file a complaint.
- Important! Accountability is big here.
- Base code enforcement on complaints.
- Enforce parking code – permit parking between 9pm and 6am.
- Verify number of families living in rental units.

6

Strengthen Communication within Neighborhood



COMMENTS:

- Communication is good – civil participation should increase.
- Websites are preferred – more people use them, but you have to promote them.
- Better achieved via computer.
- Good idea – perhaps hear a restaurant.
- Great kiosk.
- Kiosks on all four corners.
- Too socialist for us.
- Yes, yes, yes. We can find people to care for it.
- Community signs are great, especially if there is a park to put them in. If you add a board, we will step up and take care of it.
- Good idea.
- Good thoughts, but e-mail could work as well.
- Via social networking – kiosks not sure about.
- Not a great idea – encourage neighborhood meetings.

Refine Rules to Ensure Compatible Development

7

COMMENTS:

- Much needed.
- Desirable.
- Critical.
- Yes.
- Yes! Stop intentional blight!
- Single families can have granny units and street parking.
- Change zoning to prohibit anything over two stories or larger than four units.
- Maximum height 2 stories (2).
- As several people have indicated, multi-family dwellings should be prioritized.
- Parking at rear of site, not on street.
- Established code for required landscaping.
- Support lower height, courtyard type development.
- Limited density.
- Planning on redevelopment should include the present residents of the area and the need to enhance the presence of the Northwest Quadrant.
- Please do something to encourage removal of the 4-plex units if it means slightly more compatible units.
- Yes, 1 floor less for 2 more units.
- Keep density low. Encourage zoning that keeps existing single family residences as priority.
- Encourage redevelopment of apartments.
- Discourage apartments. How about condos?
- Not if you start by doubling the density maximum going to 10-20 units.
- Your efforts to plan are appreciated. This area definitely need love and nurturing. Start with low-hanging fruit and move up.

50x150 ft Lot: Three Scenarios

Downtown Northwest Neighborhood Study

March 2015
Novato, California



COMMENTS:

- Looks terrible. Encourages dumping.
- Can the City enforce cleanup of these vacant lots?
- Development opportunity.
- Not certain that existing conditions promote properties to deteriorate.
- Need code to encourage a scaled replacement.
- What's the problem? As long as an owner is not allowed to build a 3-story structure. It's their property and they pay taxes.
- Ick!



COMMENTS:

- Yikes!
- Awful.
- Ugly – not compatible with neighborhood.
- Current zone rule is fine. Plan should be inspected by the Planning Department.
- OK
- 2 levels yes. If you can afford 3, I'm not opposed although 2 levels is better.
- Too tall. Do not like car in front.
- No. Sucks.
- Out of scale.
- Terrible footprint.
- Unlikely that Design Review would allow.
- A nightmare for the audience.
- Looks scary and it is meant to look scary.
- Massive, out of neighborhood character. No need for 3 stories.
- Yuck!



Scenario 2: Allowed by General Plan
3 Unit Apartment Building

COMMENTS:

- Not great.
- Don't like cars in front. Not attractive.
- Why are the cars out front?
- Probably what the lot owner has in mind.
- If parking is moved to back where will area be for children to play?
- Ugly.
- Borderline, but acceptable.
- Do not like front yard parking. Apartments look like a single family house – good.
- Ick!
- Hate this!
- Increase the density of the neighborhood. It will lower the value of the neighborhood property value.
- Not great – but would blend in somewhat with present buildings on certain streets.
- Awful.
- No.



COMMENTS:

- Not bad. Big in back, bungalows in front?
- Good.
- Could work! Best of 3 scenarios from this page.
- Increase the density.
- This is great! Allow 4-flex owners to redevelop condo units that can be sold individually to encourage investment
- Yes.
- Like the best. Looks like big home.
- Parking in back.
- Out of character with the neighborhood.
- Good option.
- Yes – 4 or 3-plex would be mid-range use.
- A question for the City Council to decide.
- Looks better than Scenario 2.
- Looks better. I think your idea is to mix in some slightly higher density forms among the single family houses, i.e. duplexes or triplexes.
- More like the rest of neighborhood.
- Keep green area in front.
- I feel like this is misleading. You are drawing us to the conclusion you want us to come to. Focus on traffic calming, beautification and neighborhood identity and win the community's trust. People want this area to be great and to maintain neighborhood small town character.
- Preferred.

100x300 ft Lot: Three Scenarios

Downtown Northwest Neighborhood Study

March 2015
Novato, California



COMMENTS:

- Great property – has potential.
- This is not good.
- The chickens look healthy that roam on this lot.
- I like this open space. Nice house here.
- Their land, their choice as long as they do not build more than 4 units and only 2 story.
- Approach the owners to create a park.
- Plant trees.
- Keep it as it is.
- Let's bury utility poles.



COMMENTS:

- Criminal.
- Design Review won't allow. Can we encourage development that enhances our existing neighborhood?
- Too massive, has wall to street.
- Yuck.
- Out of the question. You approve this and we'll start a recall.
- Too big, too dense.
- Do not like garage doors lining the street.
- No.
- Appears to be a scare tactic.
- If done high end, would be very cool.
- Recommend the city impact the design.
- Too high. 2 floors with parking in back and less apartment-like would be better.
- Bad.
- Yikes
- Do not allow this.



Scenario 2: Allowed by General Plan
11 Townhouses, Existing Single-Family Home Retained

COMMENTS:

- Do not allow this.
- No.
- Bad.
- Too high, too much, too plain.
- Density increase, quality of life decrease.
- Don't like – too big.
- No.
- Too tall, too dense.
- Sucks.
- Yuck.
- Still too big, massive, not like the rest of neighborhood.
- Still looks very dense.
- Design Review wouldn't allow. Can we encourage development that enhances our existing neighborhood.
- Yuck.



Scenario 3: Allowed by General Plan
12-unit Cottage Court, Existing Single-Family Home Retained

COMMENTS:

- Much better.
- Must make sure adequate space for on-site parking.
- I like this cottage court but I would prefer less density.
- Yes! Best use of property.
- Okay.
- Acceptable, but limits on size and scope. Only four units maximum, not 14.
- Better, smaller scale.
- Yes! Or a park.
- OK.
- I like the look of senior housing at First & Olive for this property.
- Better scenario than #1 and #2.
- More friendly, home-looking feeling.
- Better neighborhood look.
- Best.
- Sweet.
- More units will increase the density of the area. It will not be good for the neighborhood.
- Still too dense.



19.10.110.G Side-by-Side Duplex



One-story Duplex side-by-side units, each with projecting porch.

Description
A small- to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

House-Scale Building

One-story Duplex with stoop frontages for each unit.

Northwest Neighborhood Form-Based Code

City of Novato, CA

Working Draft: March 9, 2017



This page intentionally left blank

Section 19.10.100: Northwest Neighborhood Zoning District

Subsections:

- 19.10.100.A Purpose
- 19.10.100.B Applicability
- 19.10.100.C Northwest Neighborhood Zoning District Overview
- 19.10.100.D Zoning District Standards

19.10.100.A Purpose

This Section sets forth the standards for building form, land use and other topics, such as frontage and streetscape, within Form-Based Zoning Districts. These standards reflect the community's vision for implementing the intent of the General Plan to strengthen or create walkable places. These standards are intended to ensure development that establishes and reinforces the highly valued walkable character and scale of Novato's Northwest Neighborhood.

19.10.100.B Applicability

1. The standards in this Section apply to the following: a) proposed development within Form-Based Zoning Districts; b) addition over 10 percent of the existing gross floor area, c) facade renovation facing the front or side street, d) improvement to pedestrian or vehicular access.
2. The standards in this Section shall be considered in combination with the standards in Section 19.10.110 (Supplemental to Form-Based Zoning Districts). If there is a conflict between any standards, the stricter standards shall apply.
3. The standards in this Section shall be considered in combination with the relevant standards in Chapter XIX, Article 3 (Site Planning and General Development Standards) and Section 19.10.110 (Supplemental to Form-Based Zoning Districts). If there is a conflict between any standards, the Form-Based standards shall apply.
4. At least one of each of the following, in compliance with the listed standards, must be selected for each design site from the allowed types listed in the applicable Zoning District:
 - a. Primary Building Type (19.10.110);
 - b. Frontage Type (19.10.120); and
 - c. Use Type (Table 2-4 of 19.10.030).
5. No design site shall exceed the maximum density defined in the General Plan.
6. Building Types and Frontage Types not listed in a Zoning District's standards are not allowed in that Zoning District. Use Types not listed in Table 2-4 of 19.10.030 (Residential Zoning District Land Uses and Permit Requirements) are not allowed in that Zoning District.

- 7. The standards in this chapter shall be enforced by the Community Development Director (Director). The standards in this Section shall be enforced by the Community Development Director (Director).
- H. **Allowable Exceptions.** The exceptions listed in Table 19.10.100.B.1 (Northwest Neighborhood Zoning District Exceptions) shall be allowed by Design Review Commission approval in the Northwest Neighborhood zone or upon appeal by the Planning Commission or City Council through Design Review approval in accordance with Section 19.42.030.

Table 19.10.100.B.1: Northwest Neighborhood Zoning District Exceptions	
Types of Exceptions Allowed	Maximum Exception
Reduced front or street-side setbacks, provided at least 25% of the design sites on the block contain primary buildings, the subject design site is vacant, and there would be no conflict with the ultimate right-of-way	To the minimum front or street-side yard setback of any primary building along the same block face
Reduced front setbacks for unenclosed porches, balconies, and stairways	6 feet into the required front setback
Reduced side setback(s) on a design site with less than the minimum design site width, excluding street-side setbacks	10%
Reduced side or rear setbacks for detached private garages and accessory structures, provided the garage or structure is at least five feet from a main building, at least 50 feet from a front property line, does not exceed 10 feet in height within the required setback, and does not create a condition causing water to drain onto an adjacent site	3 feet into the required side or rear setback
Reduced side and rear setbacks for unenclosed porches, balconies, and stairways	2 feet into the required setback
Reduced setbacks for architectural features (See Definitions for applicable architectural features)	2 feet into the required setback

19.10.100.C Northwest Neighborhood Zoning District Overview

The Northwest Neighborhood Form-Based Zoning District is described in this Section, and is established based on the intent of the desired physical form and character of the neighborhood. This Zoning District consists of a mix of house-scale building types for walkable areas of Central Novato.

Northwest Neighborhood

19.10.100.D Zoning District Standards



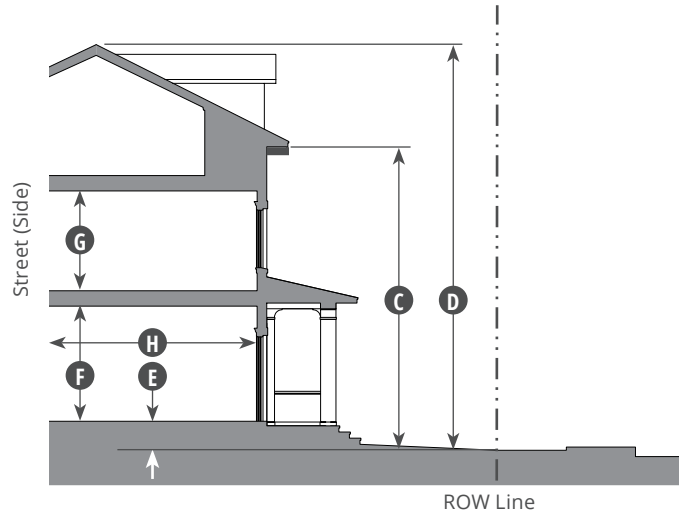
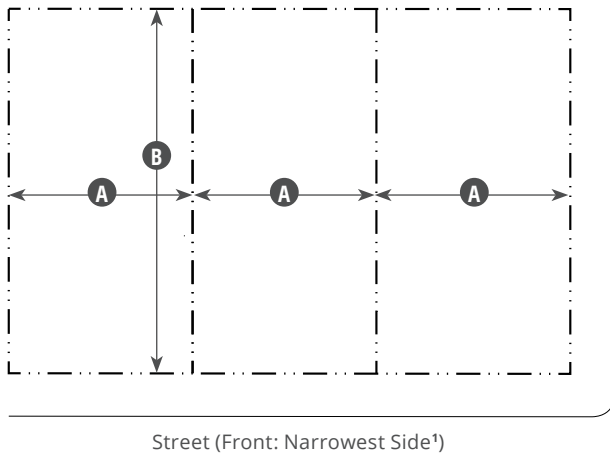
1. Intent

A walkable neighborhood environment with small-to-medium-footprint, lower to moderate-intensity housing choices, from Small Houses to Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

The following are generally appropriate form elements in this Zoning District:

- Detached Buildings
- Small-to-Medium Design Site Width
- Small-to-Medium Building Footprint
- Medium-to-Large Front Setbacks
- Small-to-Medium Side Setbacks
- Up to 2½ Stories
- Elevated Ground Floor
- Front Yards, Porches, Stoops, Dooryards

General note: The images above are intended to depict development types allowed in this Form-Based Zoning District and are illustrative only.



Key

--- ROW/ Design Site Line

3. Building Types

Primary Building	Design Site		Standards
	Width A	Depth B	
Detached House:	40' min.	100' min. ²	19.10.110.E
Side-by-Side Duplex	40' min.;	100' min. ²	19.10.110.F
Stacked Duplex	40' min.;	100' min. ²	19.10.110.G
	75' max.		
Multiplex: Small	50' min.;	100' min.	19.10.110.H
	100' max.		
Cottage Court	75' min.;	100' min. ²	19.10.110.I
	150' max.		
Courtyard	75' min.;	100' min.	19.10.110.J
	200' max.		

Accessory Building Type

Carriage House	N/A	N/A	19.10.110.D
----------------	-----	-----	-------------

¹ Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

² Min. design site depth of 70' allowed on design sites fronting Kaehler St.

Key

--- ROW Line

— HTP (Highest Top Plate)

4. Building Form

Height		
Primary Building		
To HTP/Parapet Base	24' max. ³	C
Overall	35' max. ³	D
Accessory Structure(s)		
Accessory Building	24' max. ³	
Other, gazebos	14' max.	
Ground Floor Finish Level	18" min. ⁴	E
Above Sidewalk		
Ground Floor Ceiling	9' min.	F
Upper Floor(s) Ceiling	8' min.	G

³ See Section 19.10.110, of applicable building type for additional height standards.

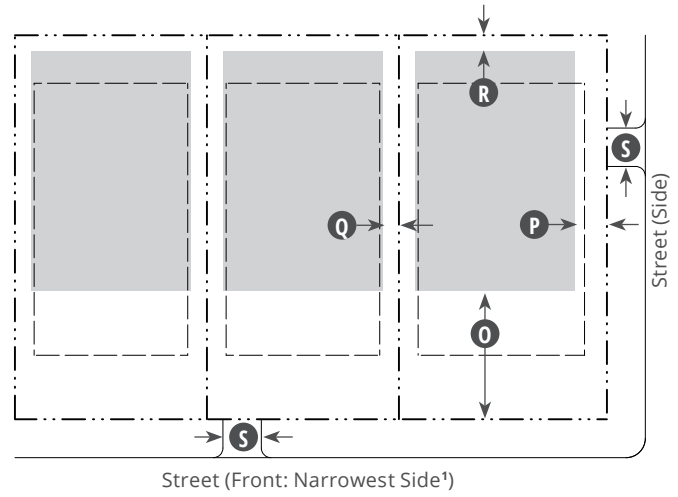
⁴ Carriage Houses, ground floor lobbies, and common areas in multi-unit buildings or at street corners may have a 0" to 6" ground floor finish level.

Footprint

Design Site Coverage	40% max.
Depth, Ground-Floor Space	24' min. H
Accessory Structure(s)	
Width	24' max.
Depth	32' max.

Miscellaneous

Mansard and Gambrel roof forms are not allowed.



Key

- █ Buildable Area
- ROW/ Design Site Line
- Setback Line
- ▨ Acc. Structures Only
- ▨ Facade Zone

Key

- ROW/ Design Site Line
- Setback Line
- █ Parking Area

5. Building Placement

Setback (Distance from ROW/ Design Site Line)

Front (Facade Zone) ²		I
Existing Parcels > 100' depth	20' min.; 25' max.	
Existing Parcels ≤ 100' depth	15' min.; 20' max.	
Side Street (Facade Zone)	7' min.; 10' max.	J
Side		
Primary Building ≤ 2 Stories	6' min.	K
Primary Building > 2 Stories	10' min.	
Accessory Structure(s)	5' min.	L
Rear		
Primary Building,		
Design Site Depth ≤ 100'	15' min.	M
Primary Building,		
Design Site Depth > 100'	20' min.	
Accessory Structure(s)	5' min.	N
Percent of Facade Zone required to include building facade (measured from nearest street corner)		
Front	50% min.	
Side Street	25% min.	

6. Parking

Minimum Required Spaces per Design Site

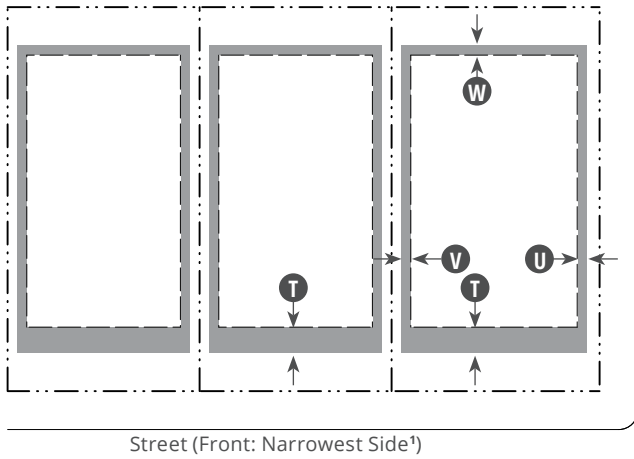
Refer to Division 19.30 (Parking and Loading)

Location (Distance from ROW/ Design Site Line)		
Front Setback	40' min.	O
Side Street Setback	10' min.	P
Side Setback	5' min.	Q
Rear Setback	5' min.	R
Miscellaneous		
Curb Cut or Parking Driveway Width		S
≤ 6 spaces	12' max.	
≤ 40 spaces	14' max.	

Driveways may be shared between adjacent design sites with appropriate legally recorded access.

¹Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

²Buildings may be set in front of the minimum front setback to align with the existing facade of the front most immediately adjacent property.



Key

ROW/ Design Site Line Allowed Projections Area
 Setback Line

7. Allowed Projections into Setbacks

Projecting Feature	T	U	V	W
	Front	Side St.	Side	Rear
Frontage ⁴	8' max.	3' max.	X	X
Stairs to Building				
Entrance	5' max.	5' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Awning	3' max.	3' max.	X	A
Fences or				
Freestanding Walls	A ²	A ²	A ³	A ³
Driveways, Walkways	A ⁴	A ⁴	A	NA
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish				
Antennas	X	X	A	A

Projecting features at grade are not allowed within a street ROW, alley ROW or across a Design Site Line.

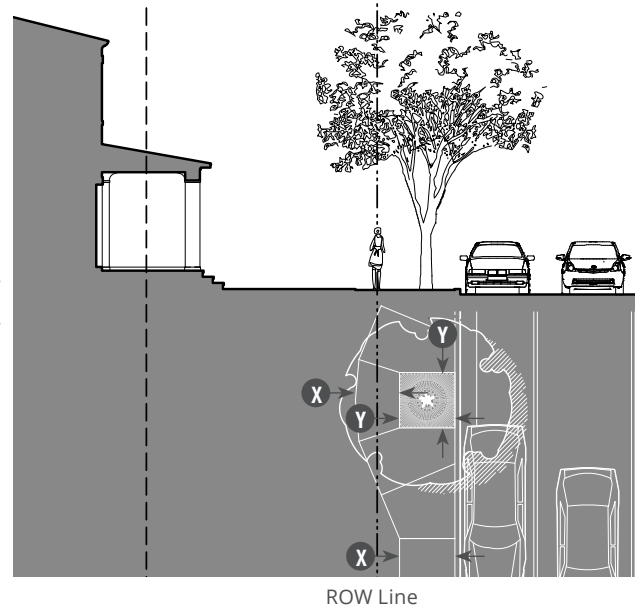
¹ Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

² 3' max. height

³ 6' max. height; max. 4' when at alley and other R.O.W.

⁴ See 19.10.120 (Frontage Types) for further refinement of allowed projection into setback for frontage elements.

Key A = Allowed X = Not Allowed



Key

--- ROW/ Design Site Line
 --- Setback Line

8. Frontages

Frontage Type	Front	Side St.	Standards
Front Yard	A	A	19.10.120.D
Porch: Projecting	A	A	19.10.120.E
Porch: Engaged	A	A	19.10.120.F
Stoop	X	A	19.10.120.G
Dooryard	X	A	19.10.120.H

9. Streetscape

Replace or Infill Street Trees for Addition, Renovation, New Building

Building Size	Min. Trees	Standards
< 1,000 sf	1	Tree per city's approved tree list.
< 2,500 sf	2	
> 2,500 sf	all of design site frontage	

Streetscape Standards ⁵

Sidewalk dimension	4' min	X
Tree planter dimension	4' min	Y

⁵ In some circumstances, in order to achieve minimum sidewalk width standards, owner shall give a sidewalk maintenance easement to the City of Novato public frontage to allow the sidewalk to encroach into the front and/or side street setback.

Section 19.10.110: Supplemental to Form-Based Zoning Districts - Building Types

Subsections:

- 19.10.110.A Purpose
- 19.10.110.B Applicability
- 19.10.110.C Building Types Overview
- 19.10.110.D Carriage House
- 19.10.110.E Detached House
- 19.10.110.F Side-by-Side Duplex
- 19.10.110.G Stacked Duplex
- 19.10.110.H Multiplex: Small
- 19.10.110.I Cottage Court
- 19.10.110.J Courtyard

19.10.110.A Purpose

This Section sets forth the standards for the development of each building type within Form-Based Zoning Districts. These standards supplement the standards for each Form-Based Zoning District in which the building, frontage, and use types are allowed. These standards are intended to ensure development that establishes and reinforces the highly-valued physical character and scale of the existing context.

19.10.110.B Applicability

1. The standards in this Section apply to all proposed development within Form-Based Zoning Districts and shall be considered in combination with the standards for the applicable Zoning District in Section 19.10.100 (Form-Based Zoning Districts).
2. Applicability. The standards of this Section apply to the following:
 - a. New building;
 - b. Renovation to all or portion of front or side street facade;
 - c. Improvement to pedestrian access (modification of sidewalk, entry, and entry location);
 - d. Expansion to building > 10% of existing gross floor area.
3. Development with Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards for the applicable Zoning District (19.10.100 Form-Based Zoning Districts), but shall not be required to meet the standards of Subsection 19.10.110.C-K (Building Types).
4. The Standards in this Section shall be enforced by the Director of Community Development (Director).

This page intentionally left blank

19.10.110.C Building Types Overview

1. This Subsection sets forth standards applicable to the development of each building type. Table 19.10.110.A (Building Types Overview) provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, as allowed by the Zoning District.
2. The allowed building types are categorized as house-scale buildings. House-scale buildings are those that are the size of a house, typically ranging from as small as 25 feet wide up to 80 feet wide and up to 2 ½ stories. The building size standards for each type are set in the Form-Based Zoning District.
3. The design site size standards for each building type are set in the Form-Based Zoning District. The design site size designates the range of design site sizes on which each building type is allowed to be built. If the subject design site is smaller or larger than the allowed design site size, a different building type must be selected.
4. Each design site shall have only one primary building type, except as follows:
 - a. Where the Form-Based Zoning District allows the Carriage House type, one Carriage House is allowed in addition to the primary building type;
 - b. Where the Form-Based Zoning District allows the Courtyard Building type, a design site may have up to 3 structures comprising the Courtyard Building type;
 - c. More than one building type is allowed on a parcel if the submitted application includes a site plan with proposed design site lines that meet all the requirements of this Section and 19.10.100 Form-Based Zoning Districts.

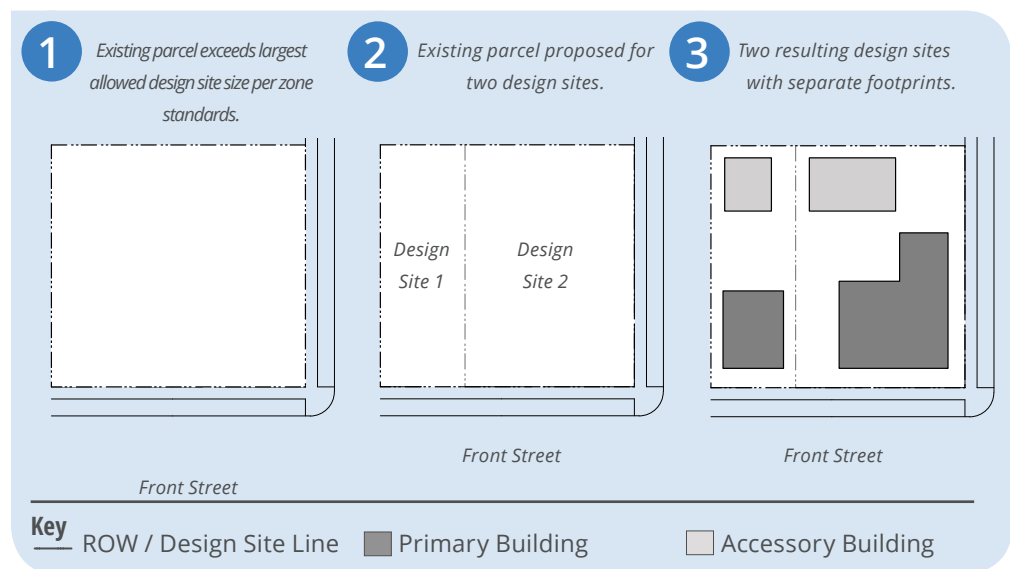





Figure 19.10.110.A: Example of multiple design sites on a large existing parcel.

5. The Carriage House Building Type is the only accessory structure in which an accessory dwelling unit is allowed.

Table 19.10.110.A: Building Types Overview

All buildings in table below are house-scale buildings.

Carriage House	Detached House	Side-by-Side Duplex
 <p>An accessory structure located toward or at the rear of a design site. It typically provides either a small residential dwelling up to 1,200 square feet, home office space, or other small non-residential or service use, as allowed by the Zoning District, that may be above a garage or at ground level.</p>	 <p>A small to medium-sized detached structure on a medium-sized design site that consists of one dwelling and private open space. It is typically located within lower-intensity residential walkable neighborhoods.</p>	 <p>A small-to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods.</p>

Stacked Duplex



A small- to medium-sized detached structure that consists of two stacked units, both facing the street and within a single building massing with private open space. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods.

Table 19.10.110.A: Building Types Overview

All buildings in table below are house-scale buildings.

Multiplex Small



A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, with one shared entry or individual entries along the front. This type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity walkable neighborhoods. Private open space is not required.

Cottage Court



A group of small, detached structures, providing multiple units arranged to define a shared court visible and accessed from the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required.

Courtyard



One or more structures that contain multiple attached and/or stacked units, accessed from a shared courtyard or series of courtyards. Each dwelling may have its own individual entry, or up to three units may share a common entry. Private open space is not required. This type is typically integrated as a small portion of lower-intensity walkable neighborhoods or more consistently into moderate-intensity walkable neighborhoods.

19.10.110.D Carriage House



Two-story Carriage House with living unit above.



Two-story Carriage House with living unit above.



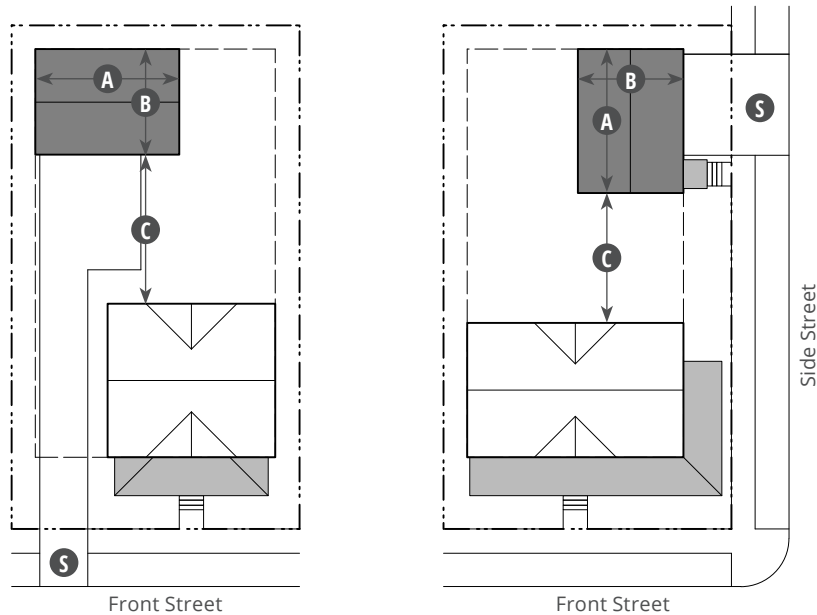
Two-story Carriage House with living unit above.

1. Description

An accessory structure located toward or at the rear of a design site. It typically provides either a small residential dwelling up to 1,200 square feet, home office space, or other small non-residential or service use, as allowed by the Zoning District, that may be above a garage or at ground level. This type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.

Only allowed on design sites where the primary building is one of the following building types: Detached House, Duplex, Multiplex Small.

General Note: Photos on this page are illustrative, not regulatory.



Key

---- ROW / Design Site Line ——— Building Setback Line ■ Building ■ Frontage

2. Number of Units

Units per Carriage House	1 max.
Carriage Houses per design site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2
Max. Height to Highest Top Plate	24'

Main Body¹

Width	36' max.	A
Depth	34' max.	B
Separation from Primary Building	10' min. ²	C

¹1,200 square feet max.

²Carriage House may be connected to primary building by an uninhabitable space such as a breezeway.

Miscellaneous

Carriage House shall not be taller or have a larger footprint than the primary building on the design site.

4. Allowed Frontage Types³

Stoop	19.10.120.G
Dooryard	19.10.120.H

³Frontage type not required.

Carriage House exempt from requirement for a raised ground floor.

5. Pedestrian Access

Main entrance location from side street, alley, or internal to design site.

Main entrance shall not be through a garage when the upper floor is used as a dwelling unit.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**

7. Open Space

Requirements determined by the primary building on the design site.

19.10.110.E Detached House



1½-story Small House with a projecting porch.



1½-story Small House with front yard.

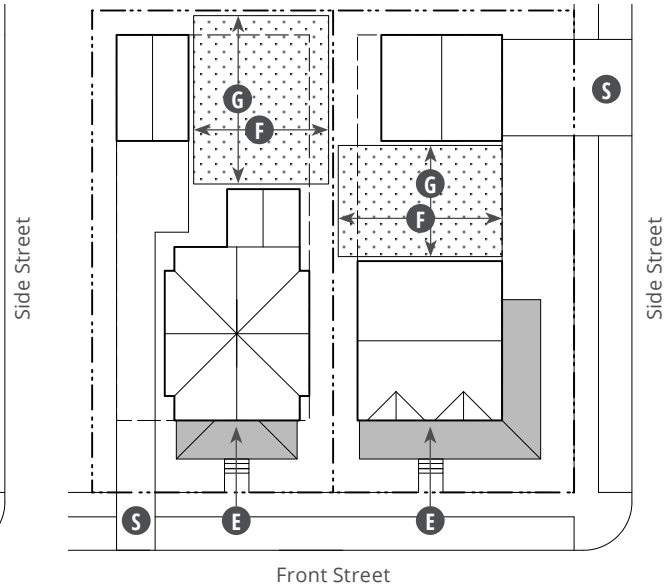
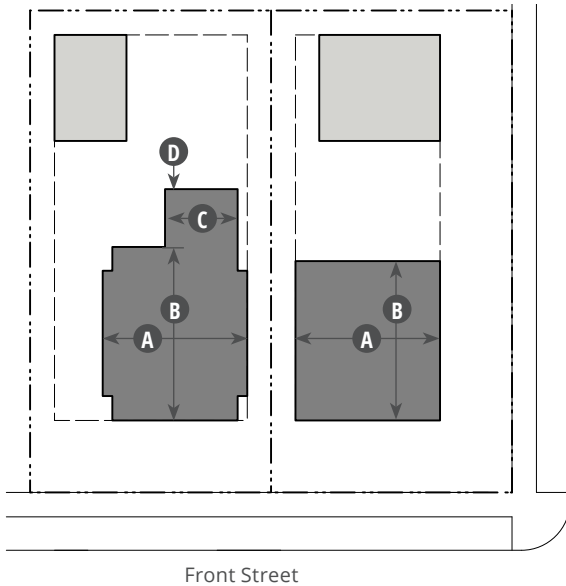


2½-story Small House with a projecting porch.

1. Description

A small detached structure on a small design site that consists of one dwelling and private open space. It is typically located within lower-intensity residential walkable neighborhoods. This type is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per House	1 max.
Detached House per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	48' max.	A
Depth	36' max.	B

Secondary Wing(s)¹

Width	22' max.	C
Depth	24' max.	D

¹ Secondary wings limited to 1½ stories. Max 14' to highest top plate.

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- ▨ Private Open Space

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ²	19.10.120.G

² Only on side street

5. Pedestrian Access

Main Entrance Location	Front Street	E
------------------------	--------------	----------

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking).	S
--	----------

7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' min.	F
Depth	15' min.	G
Area	300 sf min.	

Required street setbacks and driveways shall not be included in the private open space area calculation. Required private open space shall be located behind the main body of the building.

19.10.110.G Side-by-Side Duplex



One-story Duplex side-by-side units, each with projecting porch.



One-story Duplex with stoop frontages for each unit.

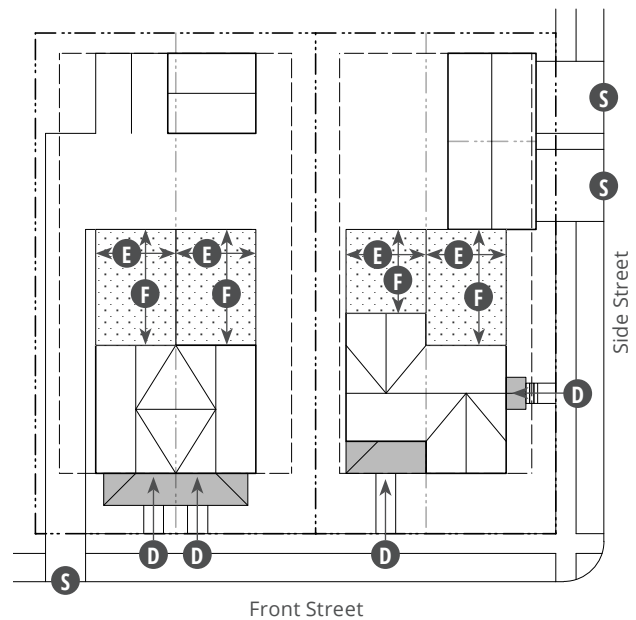
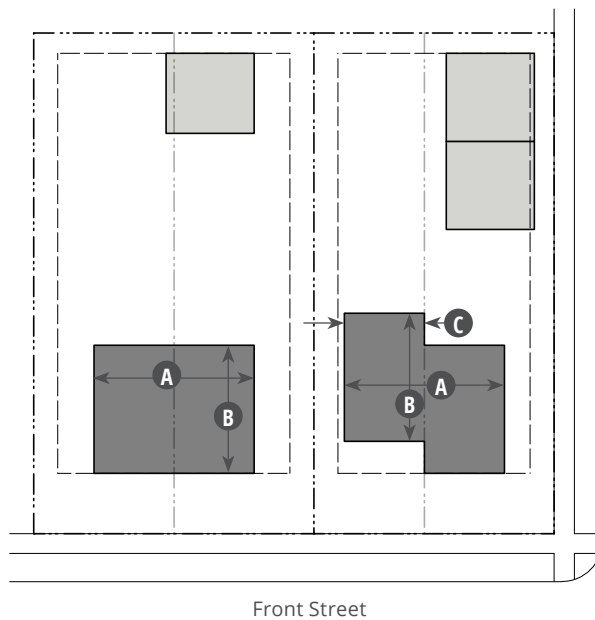


1½-story Duplex with both units accessed from the projecting porch.

1. Description

A small- to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per Duplex	2 max.
Duplexes per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	48' max.	A
Depth	36' max.	B

Secondary Wing(s)¹

Width	24' max.	C
-------	----------	----------

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ²	19.10.120.G
Dooryard ²	19.10.120.H

¹ Secondary wings limited to 1½ stories. Max. 14' to highest top plate

² Only on side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location	Front street ³	D
------------------------	---------------------------	----------

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

³On corner design sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking).	S
--	----------

7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' per unit, min.	E
Depth	15' per unit, min.	F
Area	300 sf per unit, min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

19.10.110.H Stacked Duplex



Two-story Duplex stacked units, giving the appearance of a single-family house.



Two-story Duplex with stoop frontage.

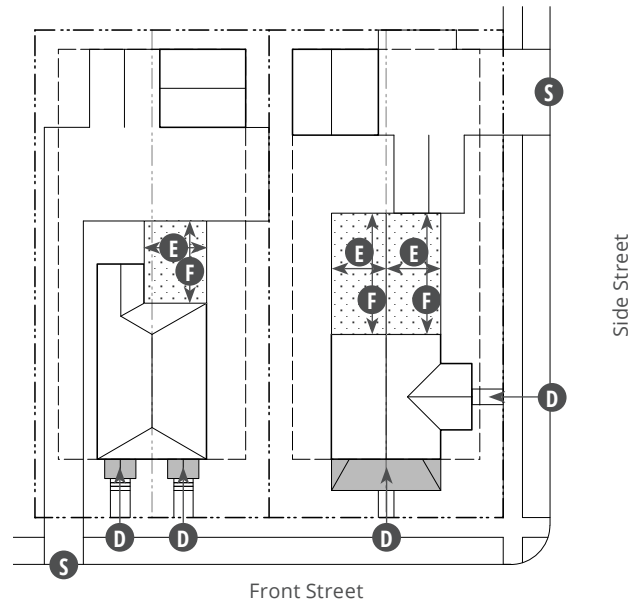
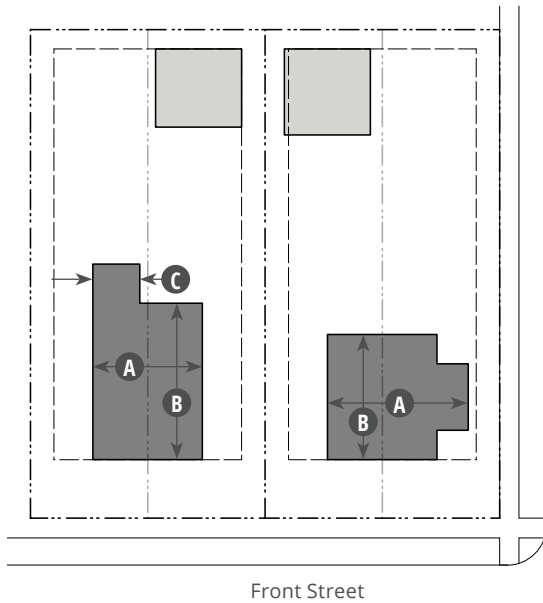


Two-story Duplex with stacked units and paired entries in projecting porch.

1. Description

A small- to medium-sized detached structure that consists of two stacked units, both facing the street and within a single building massing with private open space. This type has the appearance of a small- to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per Duplex	2 max.
Duplexes per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	36' max.	A
Depth	48' max.	B

Secondary Wing(s)

Width	24' max.	C
-------	----------	----------

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹ Only on side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location Front street² **D**

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

² On corner design sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking) **S**

7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' per unit, min.	E
Depth	15' per unit, min.	F
Area	300 sf per unit, min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

19.10.110.I Multiplex: Small



2½-story Multiplex Small with shared central entry giving the appearance of a single-family house.



2½-story Multiplex Small with stoop frontage.

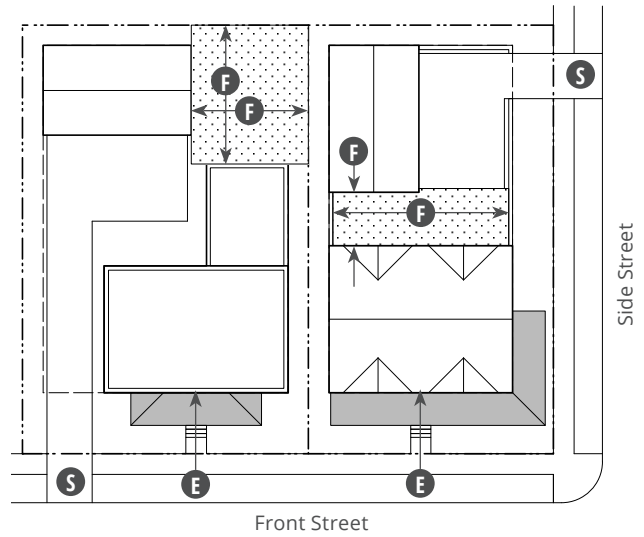


Two-story Multiplex Small with front yard and common open space along side.

1. Description

A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, with one shared entry or individual entries along the front. This type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity walkable neighborhoods. Private open space is not required. This type enables appropriately-scaled, well-designed higher intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key
 ---- ROW / Design Site Line ■ Building
 --- Building Setback Line ■ Accessory Building

Key
 ---- ROW / Design Site Line ■ Frontage
 --- Building Setback Line ■ Common Open Space

2. Number of Units

Units per Multiplex Small	3 min.; 6 max.
Multiplexes per Design Site	1 max.

3. Building Size and Massing

Height	
Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'
Main Body	
Width	52' max. (A)
Depth	48' max. (B)
Secondary Wing(s)	
Width	30' max. (C)
Depth	30' max. (D)

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹Only on side street

5. Pedestrian Access

Main Entrance Location	Front street (E)
------------------------	------------------

Each unit may have an individual entry.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). (S)

7. Open Space

No private open space required.

Common Open Space Requirements

Size	12' x 25' min. in any direction (F)
Area	50 sf min. per unit

Required street setbacks and driveways shall not be included in the common open space area calculation. Required common open space shall be located behind the main body of the building.

19.10.110.J Cottage Court



Five-building, one-story Cottage Court with stoop frontages along court leading to entries.



One-story Cottage Court with heavily landscaped court.

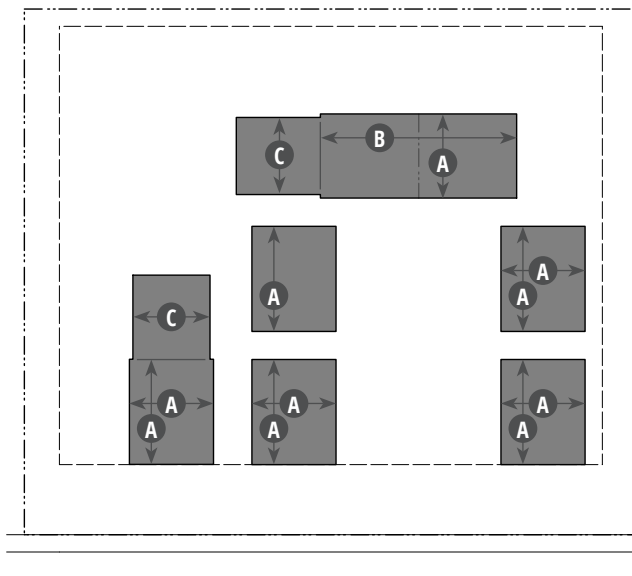


One-story Cottage Court with small porches along court.

1. Description

A group of small, detached structures, providing multiple units arranged to define a shared court visible and accessed from the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required. This type is appropriately-scaled to fit within low- to moderate-intensity walkable neighborhoods. It enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Front Street

Key

- ROW / Design Site Line
- Building Setback Line
- Building

2. Number of Units

Units per Cottage	1 max.
Cottages per Design Site	3 min.; 9 max.

3. Building Size and Massing

Height

Max. Number of Stories	1½
Max. Height to Highest Top Plate	18'

Height, Rear Building Main Body

Max. Number of Stories	2
Max. Height to Highest Top Plate	24'

Main Body

Max. Dimension	32' x 24' max.	A
----------------	----------------	----------

Main Body, Rear Building

Width, multiple attached units	64' max.	B
Width, single units	32' max.	

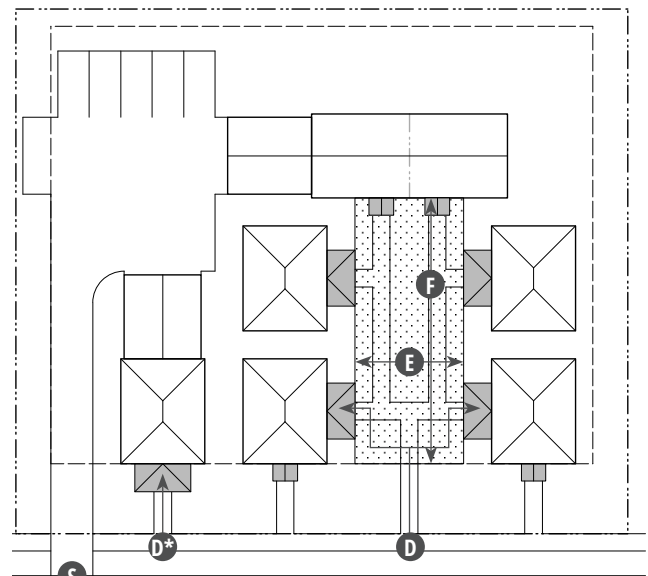
Secondary Wing(s)

Max. Dimension	24' max.	C
----------------	----------	----------

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹ Only in court and on side street



Front Street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Common Open Space

5. Pedestrian Access

- Shared court shall be accessible from front street. **D**
- Main entrance location to units from shared court.
- Units on a corner may enter from the side street.
- Pedestrian connections shall link all buildings to the public ROW, shared court, and parking areas.

6. Vehicle Access and Parking

- Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**
- Spaces may be individually accessible by the units and/or a common parking area at the rear or side of design site.

7. Open Space

- No private open space required.

Common Open Space Requirements

Width	20' min.	E
Depth	20' min.	F
Area	400 sf per unit min.	

Required street setbacks and driveways shall not be included in the common open space area calculation.

19.10.110.K Courtyard



Courtyard of 2½ story Courtyard building, emphasizing a quiet, shared space that leads to individual or shared entries.



Courtyard passage from front yard to courtyard with ground floor windows and upper story balcony units facing the street.

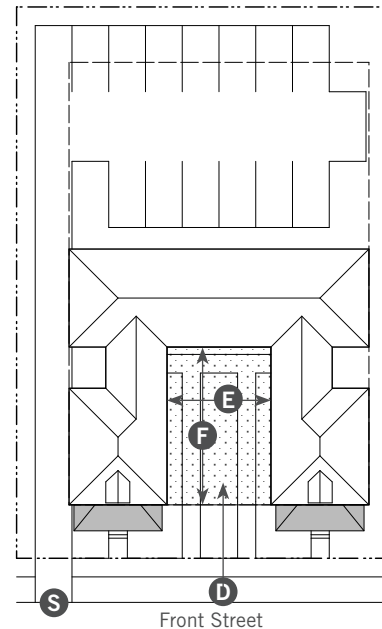
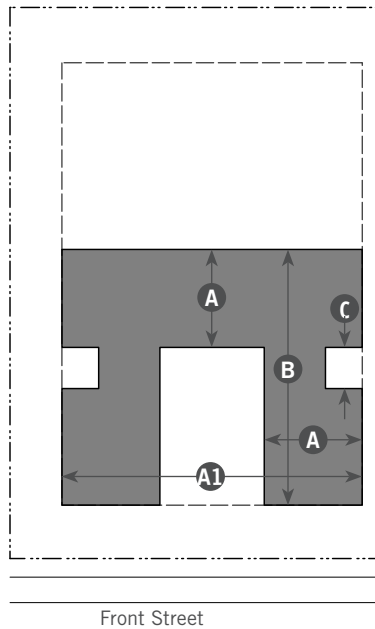


Each dwelling visually shapes the courtyard through its clear entry.

1. Description

One to three structures that contain multiple attached and/or stacked units, accessed from a shared courtyard or series of courtyards. Each dwelling may have its own individual entry, or up to three units may share a common entry. Private open space is not required. This type is typically integrated as a small portion of lower-intensity walkable neighborhoods or more consistently into moderate-intensity walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate densities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building (may consist of multiple attached structures)

2. Number of Units

Units per Courtyard Building max. scenario is 13 units on a 150' by 200' lot

Courtyard Structures per Design Site 3 max.

3. Building Size and Massing

Height

Max. Number of Stories 2 ½

Max. Height to Highest Top Plate 24'

Main Body/Secondary Wing(s)

Width 65' max. **A** 160' max. **A1**

Depth 140' max. **B**

Facade Break¹ 12' x 12' min. **C**

¹ 1 Front and side facades longer than 65' shall include a facade break

Accessory Structure(s)

No accessory structures allowed.

4. Allowed Frontage Types

Porch: Projecting 9.82.080.E

Porch: Engaged 9.82.080.F

Stoop¹ 9.82.080.G

Dooryard¹ 9.82.080.H

¹ Only in court and side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Common Open Space

5. Pedestrian Access

The main entry of ground floor units shall be directly off of a courtyard or a street.

Courtyards shall be accessible from the front street. **D**

No more than 3 units may enter from one stoop or corridor.

Pedestrian connections shall link all buildings to the public ROW, courtyards, and parking areas.

Passages through and between buildings shall connect multiple courtyards.

6. Vehicle Access and Parking

Driveway shall comply with zone standards in **S** 19.10.100.D.6 (Parking).

7. Open Space

Side E	Side F
20' min.; 40' max.	20' min.; 75' max.

Building shall define at least two walls of a courtyard.

Side(s) of courtyard not enclosed by building may be defined by 2'-6" to 5' tall wall with entry gate/door designed to complement the primary building.

This page intentionally left blank

Section 19.10.120: Supplemental to Form-Based Zoning Districts - Frontage Types

Subsections:

- 19.10.120.A Purpose
- 19.10.120.B Applicability
- 19.10.120.C Frontage Overview
- 19.10.120.D Front Yard
- 19.10.120.E Porch: Projecting
- 19.10.120.F Porch: Engaged
- 19.10.120.G Stoop
- 19.10.120.H Dooryard

19.10.120.A Purpose

This Section sets forth the standards for the development of each frontage type within Form-Based Zoning Districts. These standards supplement the standards for each Form-Based Zoning District in which the building, frontage, and use types are allowed. These standards are intended to ensure development that establishes and reinforces the highly-valued physical character and scale of the existing context.

19.10.120.B Applicability

1. The standards in this Section apply to all proposed development within Form-Based Zoning Districts and shall be considered in combination with the standards for the applicable Zoning District in Section 19.10.100 (Form-Based Zoning Districts).
2. Applicability. The standards of this section apply to the following:
 - a. New building;
 - b. Renovation to all or portion of front or side street facade;
 - c. Improvement to pedestrian access (modification of sidewalk, entry, and entry location);
 - d. Expansion to building > 10% of existing gross floor area.
3. Development with Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards for the applicable Zoning District (19.10.100 Form-Based Zoning Districts), but shall not be required to meet the standards of Subsection 19.10.120.C-H (Frontage Types).
4. The Standards in this Section shall be enforced by the Director of Community Development (Director).

19.10.120.C Frontage Overview

1. This Section sets forth standards applicable to all frontages in Form-Based Zoning Districts. Frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). Table 19.10.120.A (Frontage Types Overview) provides an overview of the allowed frontage types. The names of the frontage types indicate their particular configuration or function and are not intended to limit uses within the associated building. For example, a porch may be used by non-residential uses as allowed by the Form-Based Zoning District.
2. Each building shall have at least one frontage type for each street frontage.
3. Frontage types not listed in the applicable building type standards are not allowed on said building type.
4. Each building may have multiple frontage types in compliance with the allowed types in 19.10.110 (Allowed Frontage Types) of the applicable building type's standards.
5. Each frontage type shall be located in compliance with the facade zone per 19.10.100.D.5 (Building Placement) of the Zoning District.

Table 19.10.120.A: Frontage Types Overview

Front Yard



The main facade of the building has a planted setback from the front design site line providing a buffer from the street. The yard may be fenced or unfenced to be visually continuous with adjacent yards, supporting a landscape that generates an open and green streetscape.

Porch: Projecting



The main facade of the building is set back from the front design site line. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories, is open on three sides, and all habitable space is located behind the building setback line.

Porch: Engaged



The main facade of the building is set back from the front design site line. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories and has two adjacent sides that are engaged to the building, roofed, and the other two sides are open.

Stoop



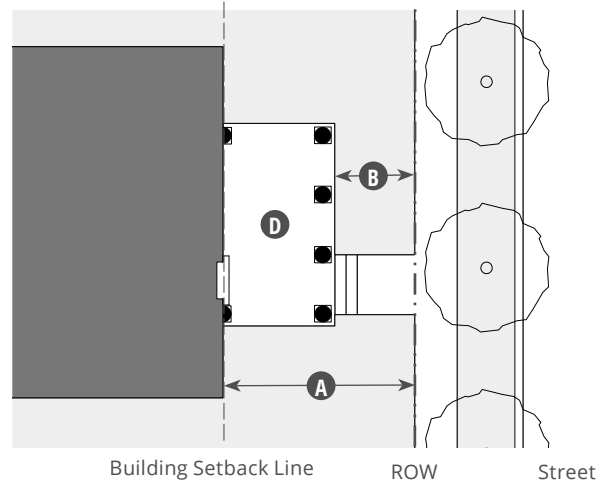
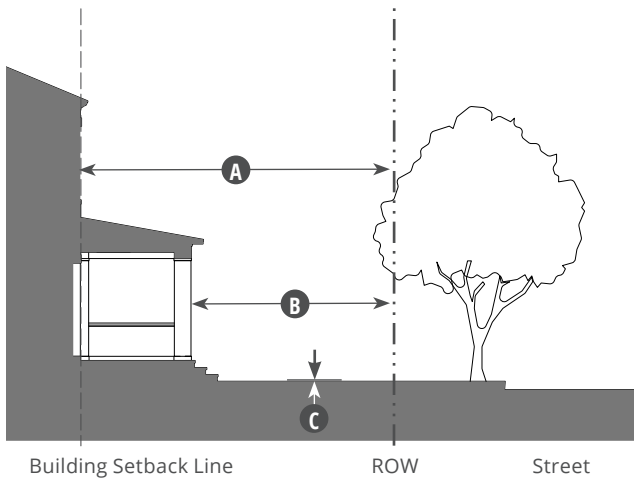
The main facade of the building is near the side street design site line and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The stoop is appropriate for residential uses with small setbacks.

Dooryard



The main facade of the building is set back from the side street design site line, which is defined by a low wall, hedge, or other allowed screening creating a small dooryard. Each dooryard is separated from adjacent dooryards. The dooryard may be raised or at grade.

19.10.120.D Front Yard



Key
 ---- ROW / Design Site Line ——— Building Setback Line

1. Description

The main facade of the building has a planted setback from the front design site line providing a buffer from the street. The yard may be fenced or unfenced to be visually continuous with adjacent yards, supporting a landscape that generates an open and green streetscape.

2. Size

Depth	per 19.10.100.D.5	A
Distance between Porch and Sidewalk	10' min.	B
Finish Level above Sidewalk	18" min.	C

3. Miscellaneous

Fences or allowed screening between front yards or between the sidewalk and front yard are allowed up to 3' tall.

Front Yards may include a Porch or other allowed elements such as a fence or entry feature.



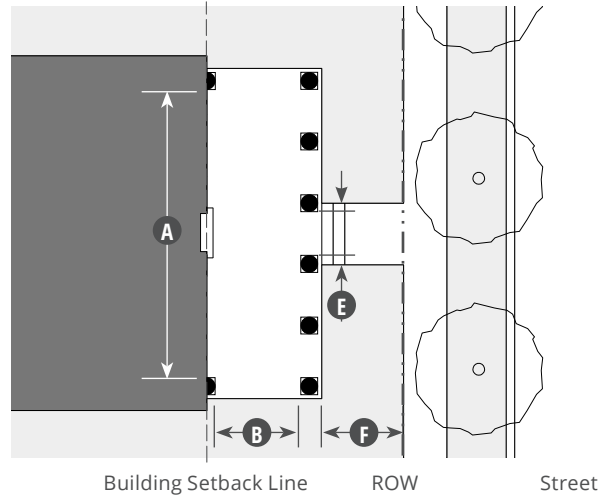
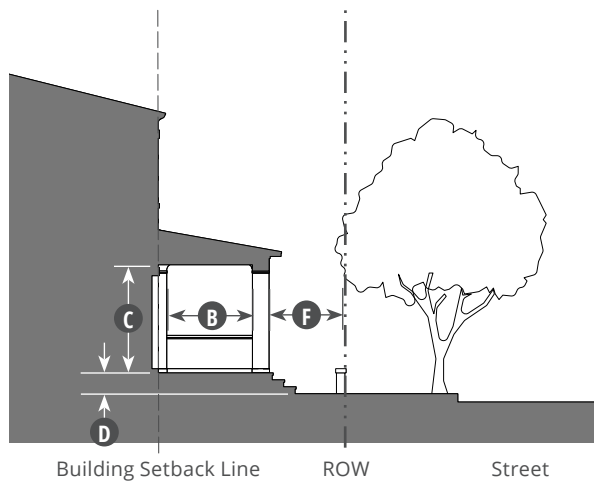
Fenced front yard with lighted entry gate.



Simple Front Yard with path leading to entry.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.E Porch: Projecting



Key

--- ROW / Design Site Line - - - Building Setback Line

1. Description

The main facade of the building is set back from the front design site line. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories, is open on three sides, and all habitable space is located behind the building setback line.

2. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Finish Level above Sidewalk	18" min.	D
Stories	2 max.	
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	5' min.	F

3. Miscellaneous

Projecting porches shall be open on three sides and have a roof.

Where porches are allowed, a projecting porch is an allowable projection into setback.



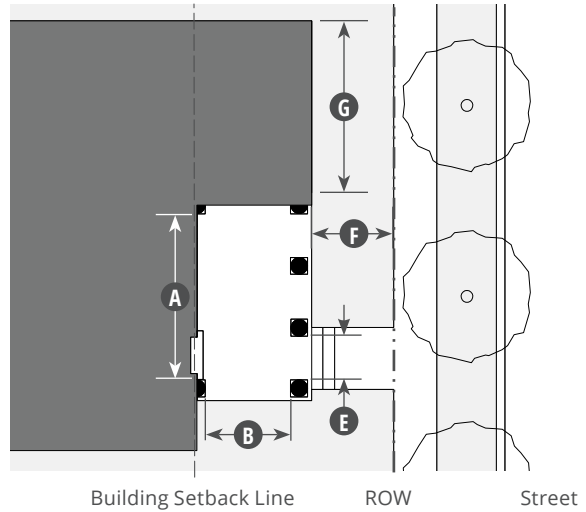
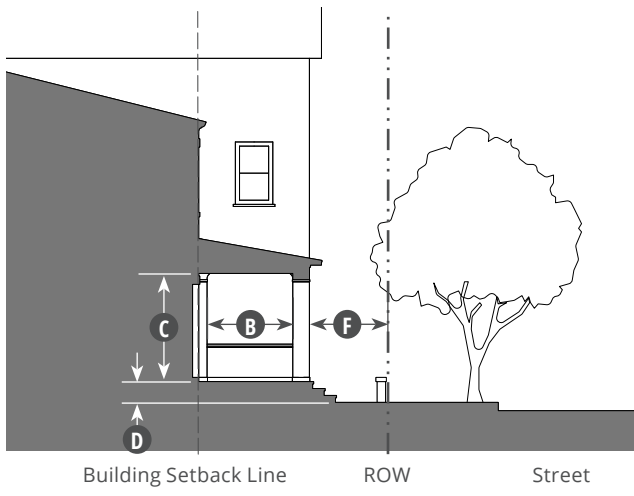
A projecting porch that matches the symmetry of the house.



Wrap-around projecting porch on the front and side facades to create a nice seating space.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.F Porch: Engaged



Key

--- ROW / Design Site Line — Building Setback Line

1. Description

The main facade of the building is set back from the front design site line. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories and has two adjacent sides that are engaged to the building, roofed, and the other two sides are open.

2. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Stories	2 max.	
Finish Level above Sidewalk	18" min.	D
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	5' min.	F

3. Miscellaneous

Up to 20 percent of the building facade and porch(es) may project beyond the building setback line into the required front setback. **G**



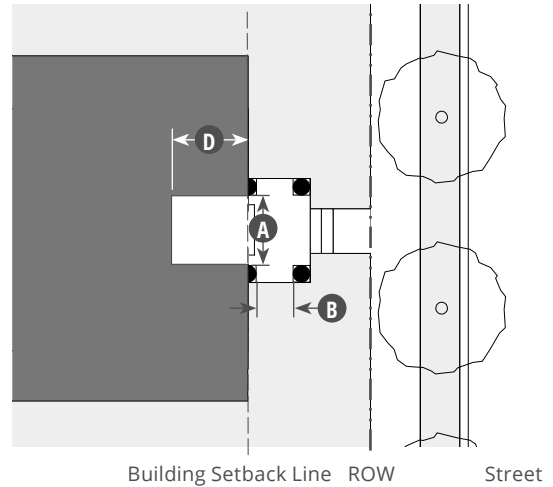
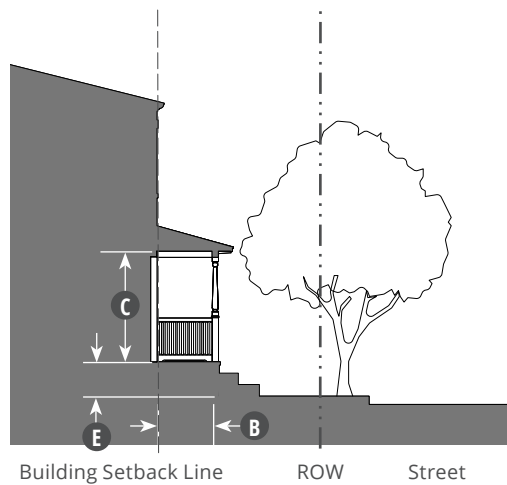
2-story engaged porch with its long side fronting the street.



Engaged porch with centered entry.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.G Stoop



Key

--- ROW / Design Site Line — Building Setback Line

1. Description

The main facade of the building is near the side street design site line and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The stoop is appropriate for residential uses with small setbacks.

2. Size

Width, Clear	5' min.; 8' max.	A
Depth, Clear	5' min.; 8' max.	B
Height, Clear	8' min.	C
Stories	1 max.	
Depth of Recessed Entries	6' max.	D
Finish Level above Sidewalk	18" min.	E

3. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

Entry doors are covered or recessed to provide shelter from the elements.

Gates are not allowed.

All doors shall face the street.

General Note: Photos on this page are illustrative, not regulatory.

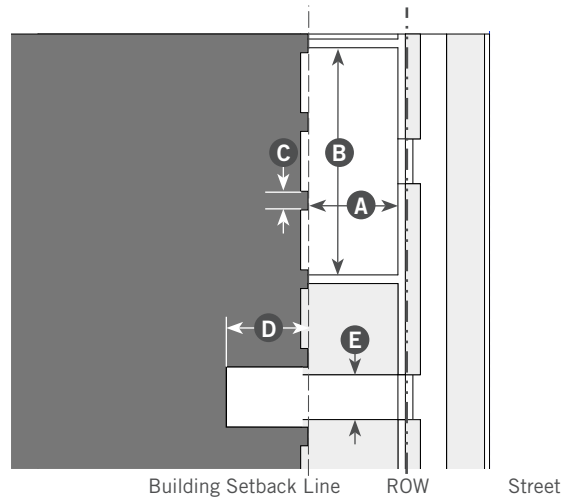
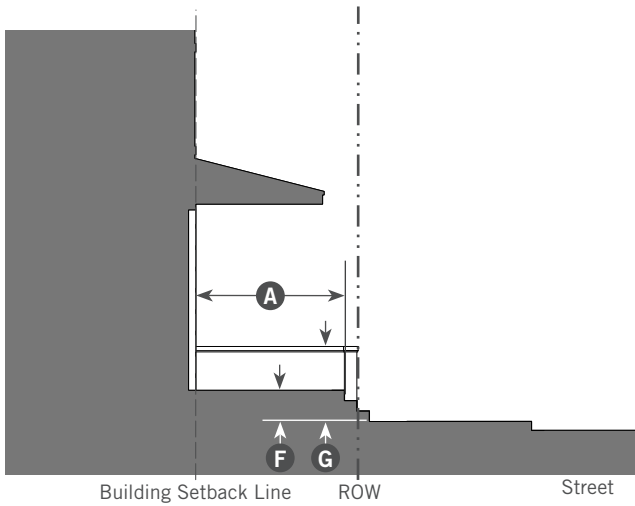


Stoop frontage along side street for this second entrance elevates the ground floor from the street level.



Stoop leading to prominent side street entry and visually enhanced by landscaping.

19.10.120.H Dooryard



Key

---- ROW / Design Site Line - - - Building Setback Line

1. Description

The main facade of the building is set back from the side street design site line, which is defined by a low wall, hedge, or other allowed screening creating a small dooryard. Each dooryard is separated from adjacent dooryards. The dooryard may be raised or at grade.

2. Size

Depth, Clear	8' min.	A
Length	50' max.	B
Distance between Glazing	4' max.	C
Depth of Recessed Entries	5' max.	D
Pedestrian access	3' wide min.	E
Finish Level above Sidewalk	24" max.	F
Height of Dooryard Fence/Wall above Finish Level	36" max.	G

3. Miscellaneous

Each Dooryard shall provide access to only one ground floor entry.



Dooryards include low fences to provide a visual transition from the public sidewalk and provide outdoor area along sidewalk.



Dooryards provide small, raised outdoor gardens along the front of each ground floor unit.

General Note: Photos on this page are illustrative, not regulatory.