



19.10.110.G Side-by-Side Duplex



One-story Duplex side-by-side units, each with projecting porch.



One-story Duplex with stoop frontages for each unit.

Description
 A small- to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small- to medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.
 House-Scale Building

Northwest Neighborhood Form-Based Code

City of Novato, CA

Working Draft: March 9, 2017



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Section 19.10.100: Northwest Neighborhood Zoning District

Subsections:

- 19.10.100.A Purpose
 - 19.10.100.B Applicability
 - 19.10.100.C Northwest Neighborhood Zoning District Overview
 - 19.10.100.D Zoning District Standards
-

19.10.100.A Purpose

This Section sets forth the standards for building form, land use and other topics, such as frontage and streetscape, within Form-Based Zoning Districts. These standards reflect the community's vision for implementing the intent of the General Plan to strengthen or create walkable places. These standards are intended to ensure development that establishes and reinforces the highly valued walkable character and scale of Novato's Northwest Neighborhood.

19.10.100.B Applicability

1. The standards in this Section apply to the following: a) proposed development within Form-Based Zoning Districts; b) addition over 10 percent of the existing gross floor area, c) facade renovation facing the front or side street, d) improvement to pedestrian or vehicular access.
2. The standards in this Section shall be considered in combination with the standards in Section 19.10.110 (Supplemental to Form-Based Zoning Districts). If there is a conflict between any standards, the stricter standards shall apply.
3. The standards in this Section shall be considered in combination with the relevant standards in Chapter XIX, Article 3 (Site Planning and General Development Standards) and Section 19.10.110 (Supplemental to Form-Based Zoning Districts). If there is a conflict between any standards, the Form-Based standards shall apply.
4. At least one of each of the following, in compliance with the listed standards, must be selected for each design site from the allowed types listed in the applicable Zoning District:
 - a. Primary Building Type (19.10.110);
 - b. Frontage Type (19.10.120); and
 - c. Use Type (Table 2-4 of 19.10.030).
5. No design site shall exceed the maximum density defined in the General Plan.
6. Building Types and Frontage Types not listed in a Zoning District's standards are not allowed in that Zoning District. Use Types not listed in Table 2-4 of 19.10.030 (Residential Zoning District Land Uses and Permit Requirements) are not allowed in that Zoning District.

- 7. The standards in this chapter shall be enforced by the Community Development Director (Director). The standards in this Section shall be enforced by the Community Development Director (Director).
- H. **Allowable Exceptions.** The exceptions listed in Table 19.10.100.B.1 (Northwest Neighborhood Zoning District Exceptions) shall be allowed by Design Review Commission approval in the Northwest Neighborhood zone or upon appeal by the Planning Commission or City Council through Design Review approval in accordance with Section 19.42.030.

Table 19.10.100.B.1: Northwest Neighborhood Zoning District Exceptions	
Types of Exceptions Allowed	Maximum Exception
Reduced front or street-side setbacks, provided at least 25% of the design sites on the block contain primary buildings, the subject design site is vacant, and there would be no conflict with the ultimate right-of-way	To the minimum front or street-side yard setback of any primary building along the same block face
Reduced front setbacks for unenclosed porches, balconies, and stairways	6 feet into the required front setback
Reduced side setback(s) on a design site with less than the minimum design site width, excluding street-side setbacks	10%
Reduced side or rear setbacks for detached private garages and accessory structures, provided the garage or structure is at least five feet from a main building, at least 50 feet from a front property line, does not exceed 10 feet in height within the required setback, and does not create a condition causing water to drain onto an adjacent site	3 feet into the required side or rear setback
Reduced side and rear setbacks for unenclosed porches, balconies, and stairways	2 feet into the required setback
Reduced setbacks for architectural features (See Definitions for applicable architectural features)	2 feet into the required setback

19.10.100.C Northwest Neighborhood Zoning District Overview

The Northwest Neighborhood Form-Based Zoning District is described in this Section, and is established based on the intent of the desired physical form and character of the neighborhood. This Zoning District consists of a mix of house-scale building types for walkable areas of Central Novato.

Northwest Neighborhood

19.10.100.D Zoning District Standards



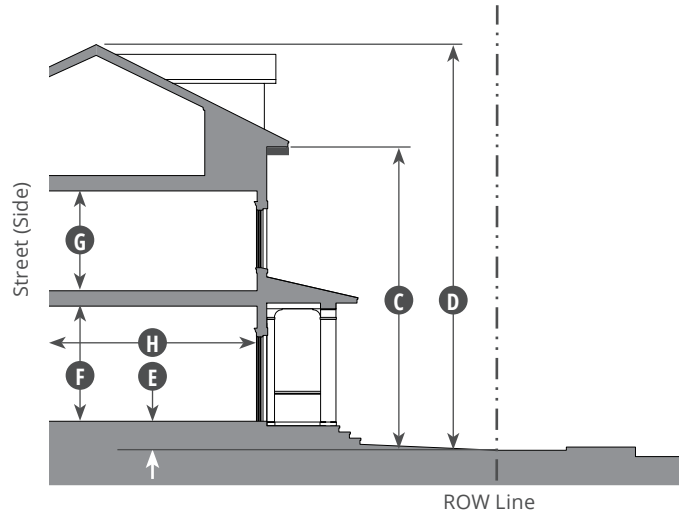
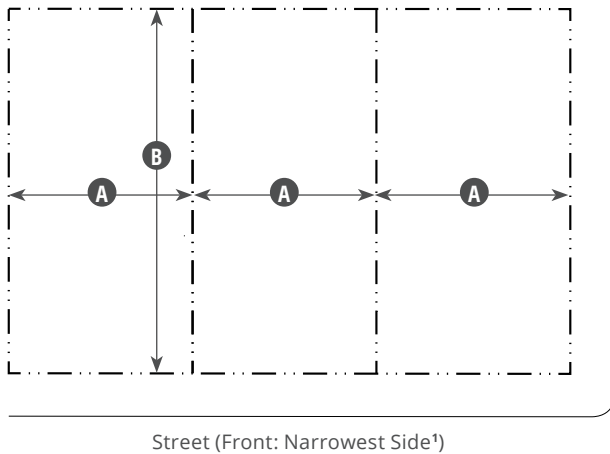
1. Intent

A walkable neighborhood environment with small-to-medium-footprint, lower to moderate-intensity housing choices, from Small Houses to Courtyard Buildings, supporting and within short walking distance of neighborhood-serving retail and services.

The following are generally appropriate form elements in this Zoning District:

- Detached Buildings
- Small-to-Medium Design Site Width
- Small-to-Medium Building Footprint
- Medium-to-Large Front Setbacks
- Small-to-Medium Side Setbacks
- Up to 2½ Stories
- Elevated Ground Floor
- Front Yards, Porches, Stoops, Dooryards

General note: The images above are intended to depict development types allowed in this Form-Based Zoning District and are illustrative only.



Key

--- ROW/ Design Site Line

3. Building Types

Primary Building	Design Site		Standards
	Width A	Depth B	
Detached House:	40' min.	100' min. ²	19.10.110.E
Side-by-Side Duplex	40' min.;	100' min. ²	19.10.110.F
Stacked Duplex	75' max.		
	40' min.;	100' min. ²	19.10.110.G
	75' max.		
Multiplex: Small	50' min.;	100' min.	19.10.110.H
	100' max.		
Cottage Court	75' min.;	100' min. ²	19.10.110.I
	150' max.		
Courtyard	75' min.;	100' min.	19.10.110.J
	200' max.		

Accessory Building Type

Carriage House	N/A	N/A	19.10.110.D
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¹Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

² Min. design site depth of 70' allowed on design sites fronting Kaehler St.

Key

--- ROW Line

— HTP (Highest Top Plate)

4. Building Form

Height

Primary Building		
To HTP/Parapet Base	24' max. ³	C
Overall	35' max. ³	D
Accessory Structure(s)		
Accessory Building	24' max. ³	
Other, gazebos	14' max.	
Ground Floor Finish Level	18" min. ⁴	E
Above Sidewalk		
Ground Floor Ceiling	9' min.	F
Upper Floor(s) Ceiling	8' min.	G

³See Section 19.10.110, of applicable building type for additional height standards.

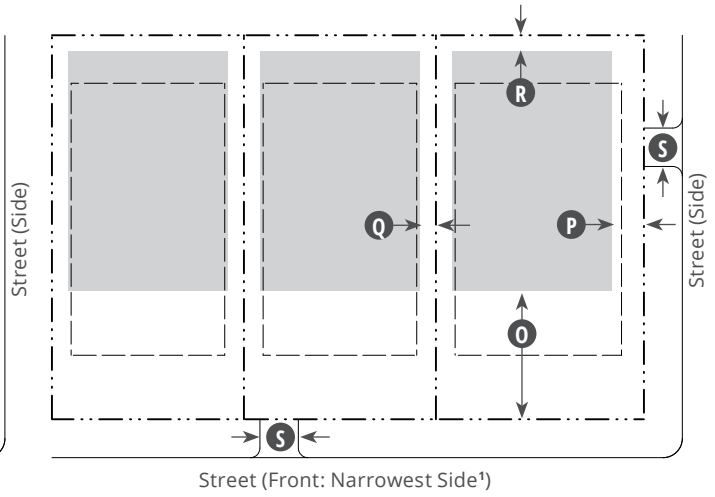
⁴Carriage Houses, ground floor lobbies, and common areas in multi-unit buildings or at street corners may have a 0" to 6" ground floor finish level.

Footprint

Design Site Coverage	40% max.
Depth, Ground-Floor Space	24' min. H
Accessory Structure(s)	
Width	24' max.
Depth	32' max.

Miscellaneous

Mansard and Gambrel roof forms are not allowed.



Key	█ Buildable Area
--- ROW/ Design Site Line	▨ Acc. Structures Only
— Setback Line	▩ Facade Zone

Key	█ Parking Area
--- ROW/ Design Site Line	
— Setback Line	

5. Building Placement

Setback (Distance from ROW/ Design Site Line)

Front (Facade Zone) ²		I
Existing Parcels > 100' depth	20' min.; 25' max.	
Existing Parcels ≤ 100' depth	15' min.; 20' max.	
Side Street (Facade Zone)	7' min.; 10' max.	J
Side		
Primary Building ≤ 2 Stories	6' min.	K
Primary Building > 2 Stories	10' min.	
Accessory Structure(s)	5' min.	L
Rear		
Primary Building,		
Design Site Depth ≤ 100'	15' min.	M
Primary Building,		
Design Site Depth > 100'	20' min.	
Accessory Structure(s)	5' min.	N
Percent of Facade Zone required to include building facade (measured from nearest street corner)		
Front	50% min.	
Side Street	25% min.	

6. Parking

Minimum Required Spaces per Design Site

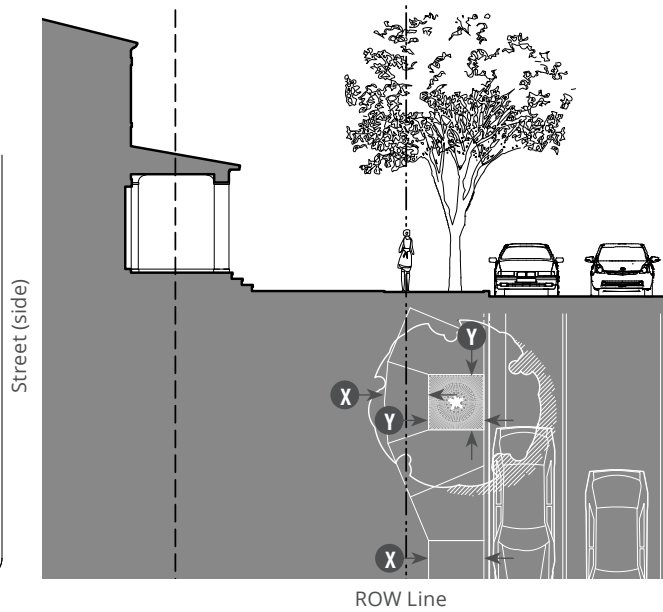
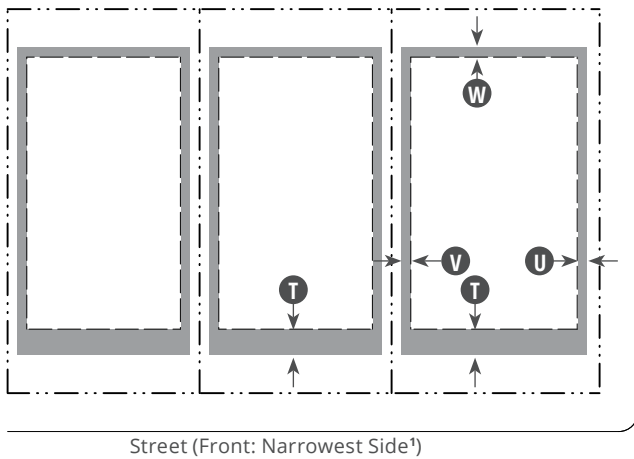
Refer to Division 19.30 (Parking and Loading)

Location (Distance from ROW/ Design Site Line)		
Front Setback	40' min.	O
Side Street Setback	10' min.	P
Side Setback	5' min.	Q
Rear Setback	5' min.	R
Miscellaneous		
Curb Cut or Parking Driveway Width		S
≤ 6 spaces	12' max.	
≤ 40 spaces	14' max.	

Driveways may be shared between adjacent design sites with appropriate legally recorded access.

¹Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

²Buildings may be set in front of the minimum front setback to align with the existing facade of the front most immediately adjacent property.



Key

ROW/ Design Site Line
 Setback Line

■ Allowed Projections Area

7. Allowed Projections into Setbacks

Projecting Feature	T	U	V	W
	Front	Side St.	Side	Rear
Frontage ⁴	8' max.	3' max.	X	X
Stairs to Building				
Entrance	5' max.	5' max.	X	X
Architectural Features	3' max.	3' max.	3' max.	3' max.
Awning	3' max.	3' max.	X	A
Fences or				
Freestanding Walls	A ²	A ²	A ³	A ³
Driveways, Walkways	A ⁴	A ⁴	A	NA
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish				
Antennas	X	X	A	A

Projecting features at grade are not allowed within a street ROW, alley ROW or across a Design Site Line.

¹ Narrowest side of lot is the front of the lot, except on lots fronting Kaehler St.

² 3' max. height

³ 6' max. height; max. 4' when at alley and other R.O.W.

⁴ See 19.10.120 (Frontage Types) for further refinement of allowed projection into setback for frontage elements.

Key A = Allowed X = Not Allowed

Key

--- ROW/ Design Site Line
 - - - Setback Line

8. Frontages

Frontage Type	Front	Side St.	Standards
Front Yard	A	A	19.10.120.D
Porch: Projecting	A	A	19.10.120.E
Porch: Engaged	A	A	19.10.120.F
Stoop	X	A	19.10.120.G
Dooryard	X	A	19.10.120.H

9. Streetscape

Replace or Infill Street Trees for Addition, Renovation, New Building

Building Size	Min. Trees	Standards
< 1,000 sf	1	Tree per city's approved tree list.
< 2,500 sf	2	
> 2,500 sf	all of design site frontage	

Streetscape Standards ⁵

Sidewalk dimension	4' min	X
Tree planter dimension	4' min	Y

⁵ In some circumstances, in order to achieve minimum sidewalk width standards, owner shall give a sidewalk maintenance easement to the City of Novato public frontage to allow the sidewalk to encroach into the front and/or side street setback.

Section 19.10.110: Supplemental to Form-Based Zoning Districts - Building Types

Subsections:

- 19.10.110.A Purpose
- 19.10.110.B Applicability
- 19.10.110.C Building Types Overview
- 19.10.110.D Carriage House
- 19.10.110.E Detached House
- 19.10.110.F Side-by-Side Duplex
- 19.10.110.G Stacked Duplex
- 19.10.110.H Multiplex: Small
- 19.10.110.I Cottage Court
- 19.10.110.J Courtyard

19.10.110.A Purpose

This Section sets forth the standards for the development of each building type within Form-Based Zoning Districts. These standards supplement the standards for each Form-Based Zoning District in which the building, frontage, and use types are allowed. These standards are intended to ensure development that establishes and reinforces the highly-valued physical character and scale of the existing context.

19.10.110.B Applicability

1. The standards in this Section apply to all proposed development within Form-Based Zoning Districts and shall be considered in combination with the standards for the applicable Zoning District in Section 19.10.100 (Form-Based Zoning Districts).
2. Applicability. The standards of this Section apply to the following:
 - a. New building;
 - b. Renovation to all or portion of front or side street facade;
 - c. Improvement to pedestrian access (modification of sidewalk, entry, and entry location);
 - d. Expansion to building > 10% of existing gross floor area.
3. Development with Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards for the applicable Zoning District (19.10.100 Form-Based Zoning Districts), but shall not be required to meet the standards of Subsection 19.10.110.C-K (Building Types).
4. The Standards in this Section shall be enforced by the Director of Community Development (Director).

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19.10.110.C Building Types Overview

1. This Subsection sets forth standards applicable to the development of each building type. Table 19.10.110.A (Building Types Overview) provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, as allowed by the Zoning District.
2. The allowed building types are categorized as house-scale buildings. House-scale buildings are those that are the size of a house, typically ranging from as small as 25 feet wide up to 80 feet wide and up to 2 ½ stories. The building size standards for each type are set in the Form-Based Zoning District.
3. The design site size standards for each building type are set in the Form-Based Zoning District. The design site size designates the range of design site sizes on which each building type is allowed to be built. If the subject design site is smaller or larger than the allowed design site size, a different building type must be selected.
4. Each design site shall have only one primary building type, except as follows:
 - a. Where the Form-Based Zoning District allows the Carriage House type, one Carriage House is allowed in addition to the primary building type;
 - b. Where the Form-Based Zoning District allows the Courtyard Building type, a design site may have up to 3 structures comprising the Courtyard Building type;
 - c. More than one building type is allowed on a parcel if the submitted application includes a site plan with proposed design site lines that meet all the requirements of this Section and 19.10.100 Form-Based Zoning Districts.

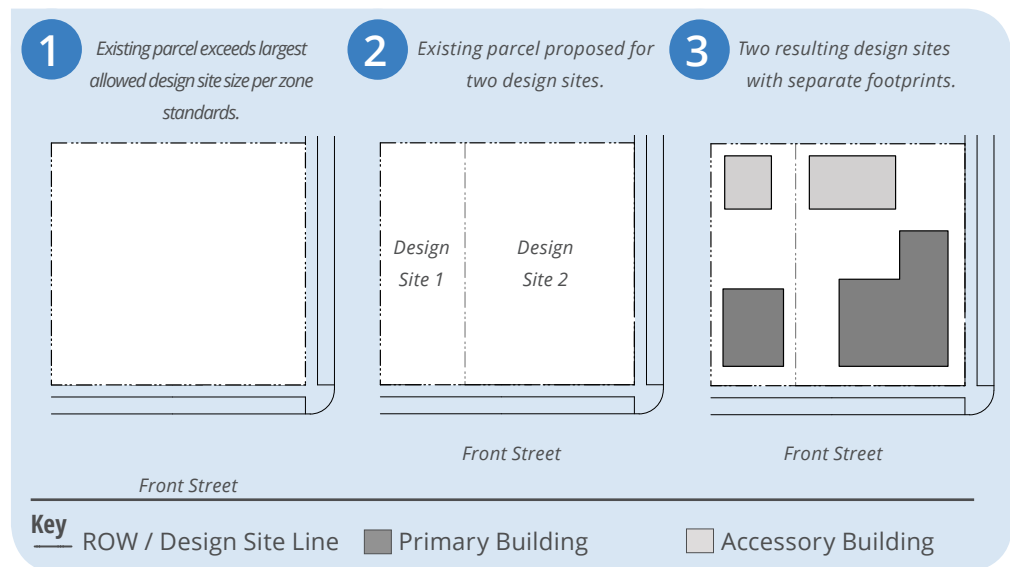




Figure 19.10.110.A: Example of multiple design sites on a large existing parcel.

5. The Carriage House Building Type is the only accessory structure in which an accessory dwelling unit is allowed.

Table 19.10.110.A: Building Types Overview

All buildings in table below are house-scale buildings.

Carriage House	Detached House	Side-by-Side Duplex
 <p>An accessory structure located toward or at the rear of a design site. It typically provides either a small residential dwelling up to 1,200 square feet, home office space, or other small non-residential or service use, as allowed by the Zoning District, that may be above a garage or at ground level.</p>	 <p>A small to medium-sized detached structure on a medium-sized design site that consists of one dwelling and private open space. It is typically located within lower-intensity residential walkable neighborhoods.</p>	 <p>A small-to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods.</p>

Stacked Duplex



A small- to medium-sized detached structure that consists of two stacked units, both facing the street and within a single building massing with private open space. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods.

Table 19.10.110.A: Building Types Overview

All buildings in table below are house-scale buildings.

Multiplex Small



A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, with one shared entry or individual entries along the front. This type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity walkable neighborhoods. Private open space is not required.

Cottage Court



A group of small, detached structures, providing multiple units arranged to define a shared court visible and accessed from the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required.

Courtyard



One or more structures that contain multiple attached and/or stacked units, accessed from a shared courtyard or series of courtyards. Each dwelling may have its own individual entry, or up to three units may share a common entry. Private open space is not required. This type is typically integrated as a small portion of lower-intensity walkable neighborhoods or more consistently into moderate-intensity walkable neighborhoods.

19.10.110.D Carriage House



Two-story Carriage House with living unit above.



Two-story Carriage House with living unit above.



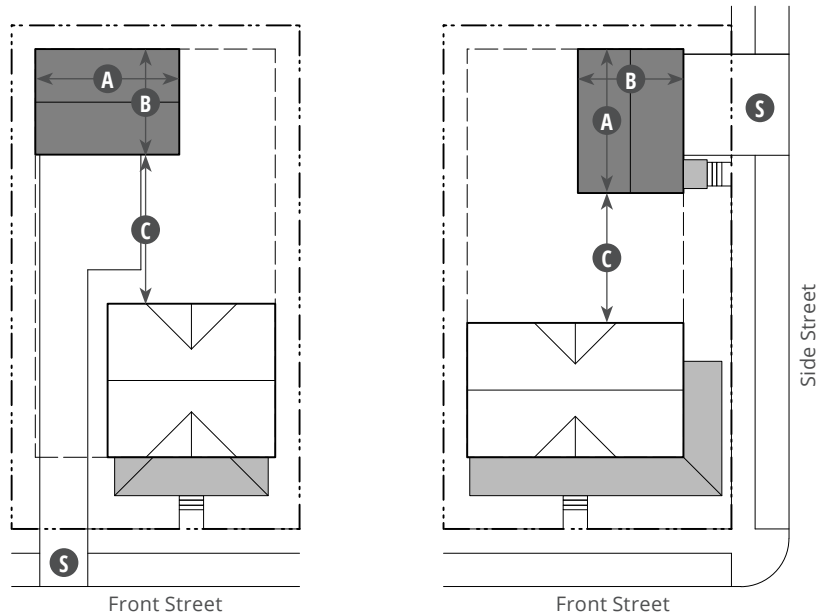
Two-story Carriage House with living unit above.

1. Description

An accessory structure located toward or at the rear of a design site. It typically provides either a small residential dwelling up to 1,200 square feet, home office space, or other small non-residential or service use, as allowed by the Zoning District, that may be above a garage or at ground level. This type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.

Only allowed on design sites where the primary building is one of the following building types: Detached House, Duplex, Multiplex Small.

General Note: Photos on this page are illustrative, not regulatory.



Key

---- ROW / Design Site Line ——— Building Setback Line ■ Building ■ Frontage

2. Number of Units

Units per Carriage House	1 max.
Carriage Houses per design site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2
Max. Height to Highest Top Plate	24'

Main Body¹

Width	36' max.	A
Depth	34' max.	B
Separation from Primary Building	10' min. ²	C

¹1,200 square feet max.

²Carriage House may be connected to primary building by an uninhabitable space such as a breezeway.

Miscellaneous

Carriage House shall not be taller or have a larger footprint than the primary building on the design site.

4. Allowed Frontage Types³

Stoop	19.10.120.G
Dooryard	19.10.120.H

³Frontage type not required.

Carriage House exempt from requirement for a raised ground floor.

5. Pedestrian Access

Main entrance location from side street, alley, or internal to design site.

Main entrance shall not be through a garage when the upper floor is used as a dwelling unit.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**

7. Open Space

Requirements determined by the primary building on the design site.

19.10.110.E Detached House



1½-story Small House with a projecting porch.



1½-story Small House with front yard.

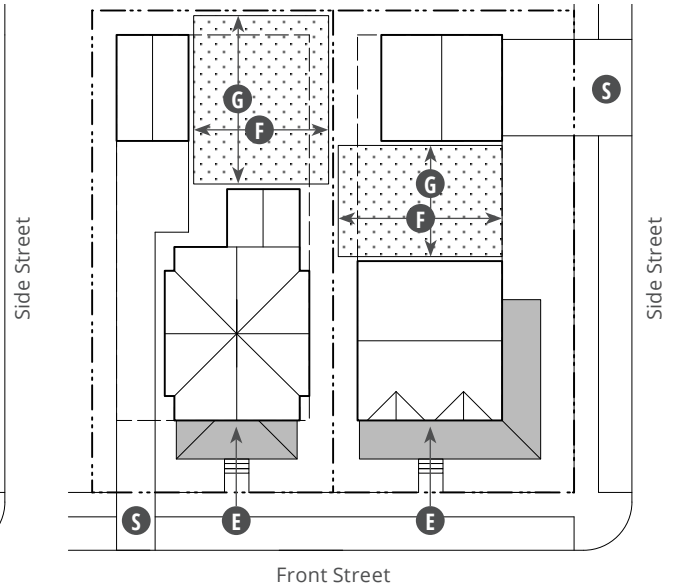
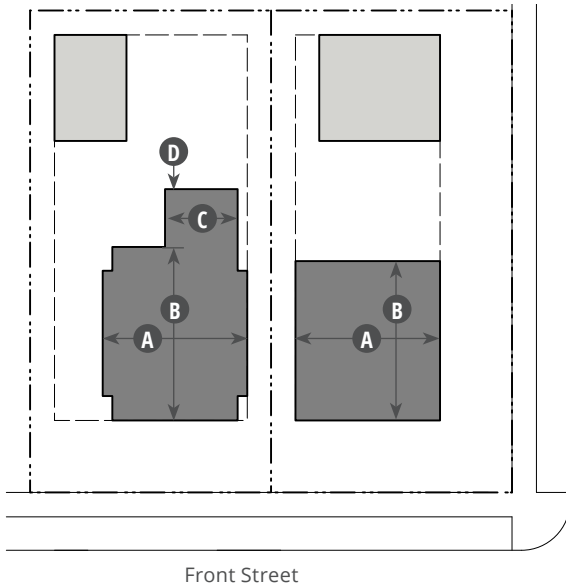


2½-story Small House with a projecting porch.

1. Description

A small detached structure on a small design site that consists of one dwelling and private open space. It is typically located within lower-intensity residential walkable neighborhoods. This type is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per House	1 max.
Detached House per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	48' max.	A
Depth	36' max.	B

Secondary Wing(s)¹

Width	22' max.	C
Depth	24' max.	D

¹ Secondary wings limited to 1½ stories. Max 14' to highest top plate.

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Private Open Space

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ²	19.10.120.G

² Only on side street

5. Pedestrian Access

Main Entrance Location	Front Street	E
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6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**

7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' min.	F
Depth	15' min.	G
Area	300 sf min.	

Required street setbacks and driveways shall not be included in the private open space area calculation. Required private open space shall be located behind the main body of the building.

19.10.110.G Side-by-Side Duplex



One-story Duplex side-by-side units, each with projecting porch.



One-story Duplex with stoop frontages for each unit.

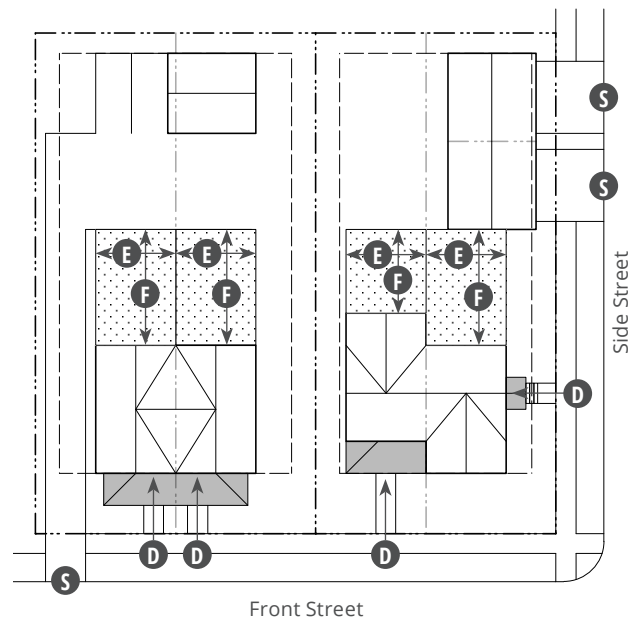
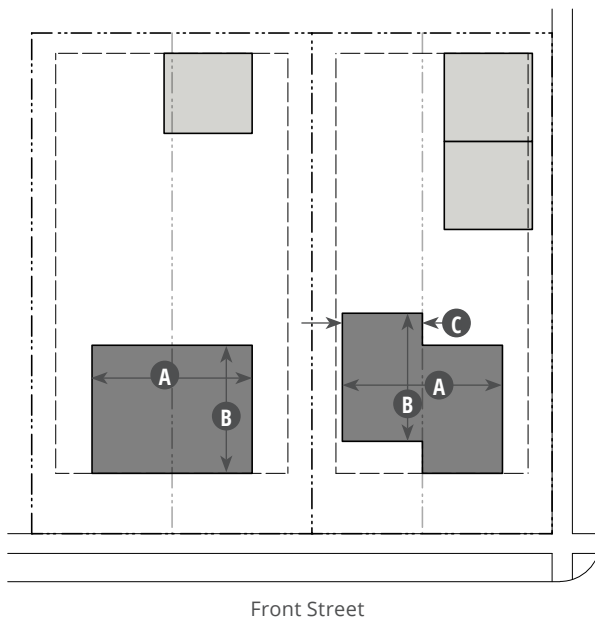


1½-story Duplex with both units accessed from the projecting porch.

1. Description

A small- to medium-sized detached structure that consists of two side-by-side units with private open space, both facing the street and within a single building massing. This type has the appearance of a small-to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per Duplex	2 max.
Duplexes per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	48' max.	A
Depth	36' max.	B

Secondary Wing(s)¹

Width	24' max.	C
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4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ²	19.10.120.G
Dooryard ²	19.10.120.H

¹ Secondary wings limited to 1½ stories. Max. 14' to highest top plate

² Only on side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location	Front street ³	D
------------------------	---------------------------	----------

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

³On corner design sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking).	S
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7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' per unit, min.	E
Depth	15' per unit, min.	F
Area	300 sf per unit, min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

19.10.110.H Stacked Duplex



Two-story Duplex stacked units, giving the appearance of a single-family house.



Two-story Duplex with stoop frontage.

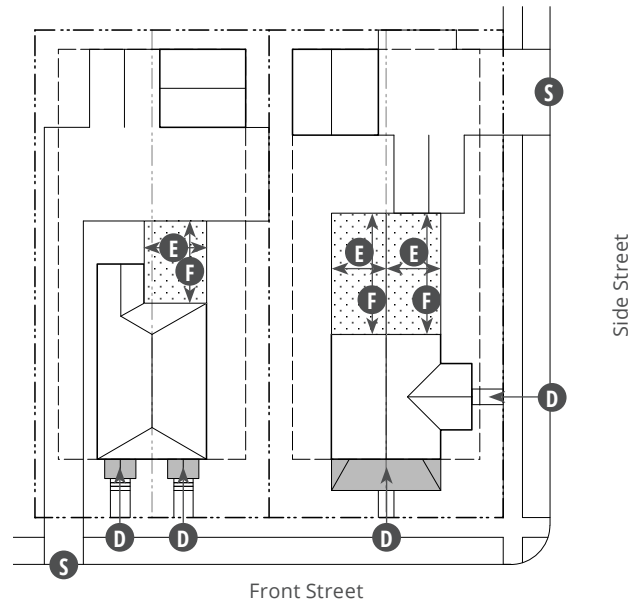
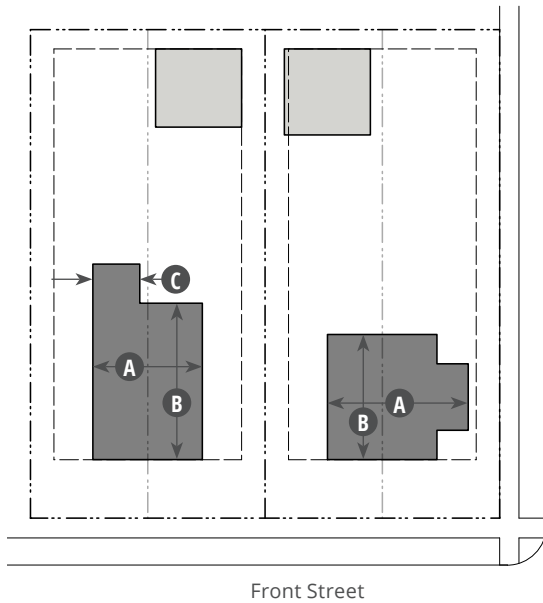


Two-story Duplex with stacked units and paired entries in projecting porch.

1. Description

A small- to medium-sized detached structure that consists of two stacked units, both facing the street and within a single building massing with private open space. This type has the appearance of a small- to-medium single-family home and is appropriately scaled to fit within lower-intensity residential walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building
- Accessory Building

2. Number of Units

Units per Duplex	2 max.
Duplexes per Design Site	1 max.

3. Building Size and Massing

Height

Max. Number of Stories	2½
Max. Height to Highest Top Plate	24'

Main Body

Width	36' max.	A
Depth	48' max.	B

Secondary Wing(s)

Width	24' max.	C
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4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹ Only on side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Private Open Space

5. Pedestrian Access

Main Entrance Location Front street² **D**

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

² On corner design sites, each unit shall front a different street.

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**

7. Open Space

No common open space required.

Private Open Space Requirements

Width	15' per unit, min.	E
Depth	15' per unit, min.	F
Area	300 sf per unit, min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

19.10.110.I Multiplex: Small



2½-story Multiplex Small with shared central entry giving the appearance of a single-family house.



2½-story Multiplex Small with stoop frontage.

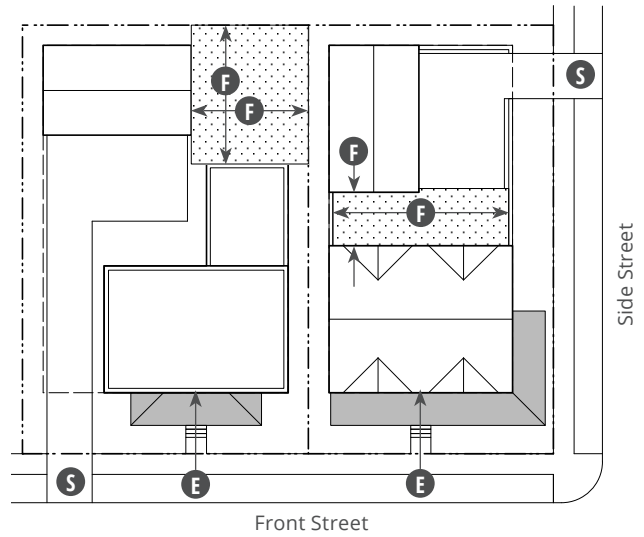


Two-story Multiplex Small with front yard and common open space along side.

1. Description

A medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwellings, with one shared entry or individual entries along the front. This type has the appearance of a medium-sized single-family home and is appropriately scaled to fit as a small portion of low- to moderate-intensity walkable neighborhoods. Private open space is not required. This type enables appropriately-scaled, well-designed higher intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key
 ---- ROW / Design Site Line ■ Building
 --- Building Setback Line ■ Accessory Building

Key
 ---- ROW / Design Site Line ■ Frontage
 --- Building Setback Line ■ Common Open Space

2. Number of Units

Units per Multiplex Small	3 min.; 6 max.
Multiplexes per Design Site	1 max.

3. Building Size and Massing

Height		
Max. Number of Stories	2½	
Max. Height to Highest Top Plate	24'	
Main Body		
Width	52' max.	(A)
Depth	48' max.	(B)
Secondary Wing(s)		
Width	30' max.	(C)
Depth	30' max.	(D)

4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Porch: Engaged	19.10.120.F
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹Only on side street

5. Pedestrian Access

Main Entrance Location	Front street	(E)
Each unit may have an individual entry.		

6. Vehicle Access and Parking

Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). (S)

7. Open Space

No private open space required.

Common Open Space Requirements

Size	12' x 25' min. in any direction	(F)
Area	50 sf min. per unit	

Required street setbacks and driveways shall not be included in the common open space area calculation. Required common open space shall be located behind the main body of the building.

19.10.110.J Cottage Court



Five-building, one-story Cottage Court with stoop frontages along court leading to entries.



One-story Cottage Court with heavily landscaped court.

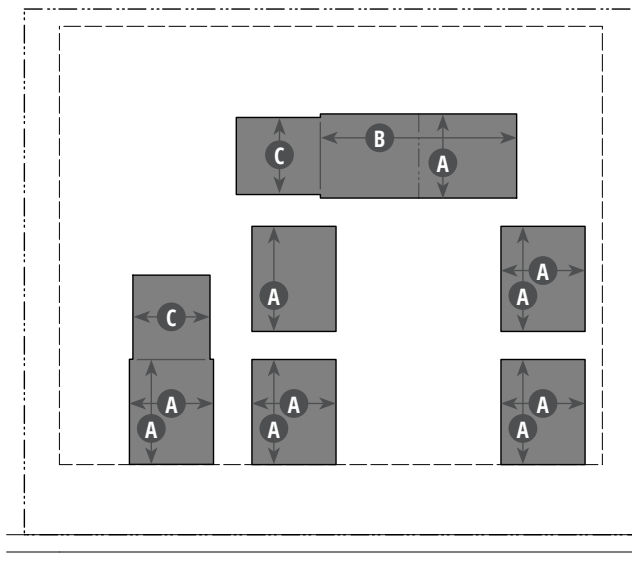


One-story Cottage Court with small porches along court.

1. Description

A group of small, detached structures, providing multiple units arranged to define a shared court visible and accessed from the street. The shared court is common open space and takes the place of a private rear yard, thus becoming an important community-enhancing element. Private open space is not required. This type is appropriately-scaled to fit within low- to moderate-intensity walkable neighborhoods. It enables appropriately-scaled, well-designed moderate intensities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Front Street

Key

- ROW / Design Site Line
- Building Setback Line
- Building

2. Number of Units

Units per Cottage	1 max.
Cottages per Design Site	3 min.; 9 max.

3. Building Size and Massing

Height

Max. Number of Stories	1½
Max. Height to Highest Top Plate	18'

Height, Rear Building Main Body

Max. Number of Stories	2
Max. Height to Highest Top Plate	24'

Main Body

Max. Dimension	32' x 24' max.	A
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Main Body, Rear Building

Width, multiple attached units	64' max.	B
Width, single units	32' max.	

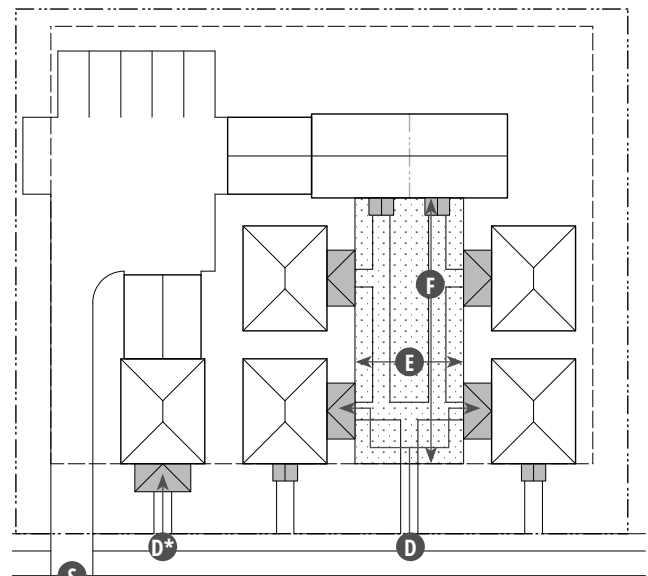
Secondary Wing(s)

Max. Dimension	24' max.	C
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4. Allowed Frontage Types

Front Yard	19.10.120.D
Porch: Projecting	19.10.120.E
Stoop ¹	19.10.120.G
Dooryard ¹	19.10.120.H

¹ Only in court and on side street



Front Street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- ▨ Common Open Space

5. Pedestrian Access

- Shared court shall be accessible from front street. **D**
- Main entrance location to units from shared court.
- Units on a corner may enter from the side street.
- Pedestrian connections shall link all buildings to the public ROW, shared court, and parking areas.

6. Vehicle Access and Parking

- Driveway and parking location shall comply with zone standards in 19.10.100.D.6 (Parking). **S**
- Spaces may be individually accessible by the units and/or a common parking area at the rear or side of design site.

7. Open Space

- No private open space required.

Common Open Space Requirements

Width	20' min.	E
Depth	20' min.	F
Area	400 sf per unit min.	

Required street setbacks and driveways shall not be included in the common open space area calculation.

19.10.110.K Courtyard



Courtyard of 2½ story Courtyard building, emphasizing a quiet, shared space that leads to individual or shared entries.



Courtyard passage from front yard to courtyard with ground floor windows and upper story balcony units facing the street.

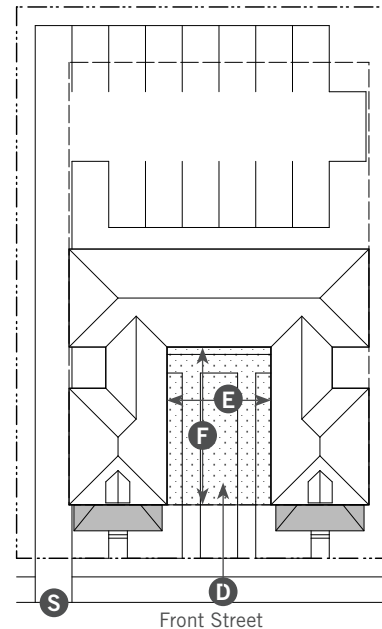
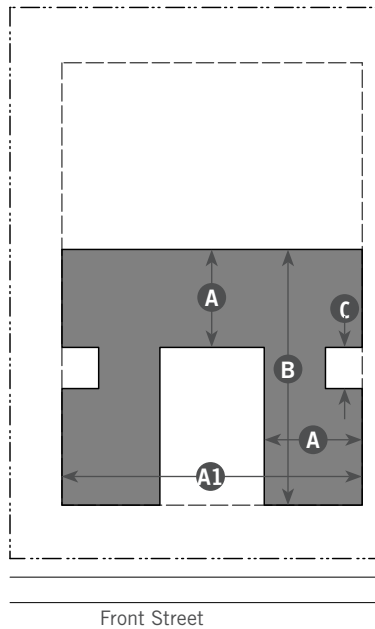


Each dwelling visually shapes the courtyard through its clear entry.

1. Description

One to three structures that contain multiple attached and/or stacked units, accessed from a shared courtyard or series of courtyards. Each dwelling may have its own individual entry, or up to three units may share a common entry. Private open space is not required. This type is typically integrated as a small portion of lower-intensity walkable neighborhoods or more consistently into moderate-intensity walkable neighborhoods. This type enables appropriately-scaled, well-designed moderate densities and is important for providing a broad choice of housing types and promoting walkability.

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Design Site Line
- Building Setback Line
- Building (may consist of multiple attached structures)

2. Number of Units

Units per Courtyard Building max. scenario is 13 units on a 150' by 200' lot

Courtyard Structures per Design Site 3 max.

3. Building Size and Massing

Height

Max. Number of Stories 2 ½

Max. Height to Highest Top Plate 24'

Main Body/Secondary Wing(s)

Width 65' max. **A** 160' max. **A1**

Depth 140' max. **B**

Facade Break¹ 12' x 12' min. **C**

¹ 1 Front and side facades longer than 65' shall include a facade break

Accessory Structure(s)

No accessory structures allowed.

4. Allowed Frontage Types

Porch: Projecting 9.82.080.E

Porch: Engaged 9.82.080.F

Stoop¹ 9.82.080.G

Dooryard¹ 9.82.080.H

¹ Only in court and side street

Key

- ROW / Design Site Line
- Building Setback Line
- Frontage
- Common Open Space

5. Pedestrian Access

The main entry of ground floor units shall be directly off of a courtyard or a street.

Courtyards shall be accessible from the front street. **D**

No more than 3 units may enter from one stoop or corridor.

Pedestrian connections shall link all buildings to the public ROW, courtyards, and parking areas.

Passages through and between buildings shall connect multiple courtyards.

6. Vehicle Access and Parking

Driveway shall comply with zone standards in **S** 19.10.100.D.6 (Parking).

7. Open Space

Side E

Side F

20' min.; 40' max.

20' min.; 75' max.

Building shall define at least two walls of a courtyard.

Side(s) of courtyard not enclosed by building may be defined by 2'-6" to 5' tall wall with entry gate/door designed to complement the primary building.

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Section 19.10.120: Supplemental to Form-Based Zoning Districts - Frontage Types

Subsections:

- 19.10.120.A Purpose
- 19.10.120.B Applicability
- 19.10.120.C Frontage Overview
- 19.10.120.D Front Yard
- 19.10.120.E Porch: Projecting
- 19.10.120.F Porch: Engaged
- 19.10.120.G Stoop
- 19.10.120.H Dooryard

19.10.120.A Purpose

This Section sets forth the standards for the development of each frontage type within Form-Based Zoning Districts. These standards supplement the standards for each Form-Based Zoning District in which the building, frontage, and use types are allowed. These standards are intended to ensure development that establishes and reinforces the highly-valued physical character and scale of the existing context.

19.10.120.B Applicability

1. The standards in this Section apply to all proposed development within Form-Based Zoning Districts and shall be considered in combination with the standards for the applicable Zoning District in Section 19.10.100 (Form-Based Zoning Districts).
2. Applicability. The standards of this section apply to the following:
 - a. New building;
 - b. Renovation to all or portion of front or side street facade;
 - c. Improvement to pedestrian access (modification of sidewalk, entry, and entry location);
 - d. Expansion to building > 10% of existing gross floor area.
3. Development with Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards for the applicable Zoning District (19.10.100 Form-Based Zoning Districts), but shall not be required to meet the standards of Subsection 19.10.120.C-H (Frontage Types).
4. The Standards in this Section shall be enforced by the Director of Community Development (Director).

19.10.120.C Frontage Overview

1. This Section sets forth standards applicable to all frontages in Form-Based Zoning Districts. Frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). Table 19.10.120.A (Frontage Types Overview) provides an overview of the allowed frontage types. The names of the frontage types indicate their particular configuration or function and are not intended to limit uses within the associated building. For example, a porch may be used by non-residential uses as allowed by the Form-Based Zoning District.
2. Each building shall have at least one frontage type for each street frontage.
3. Frontage types not listed in the applicable building type standards are not allowed on said building type.
4. Each building may have multiple frontage types in compliance with the allowed types in 19.10.110 (Allowed Frontage Types) of the applicable building type's standards.
5. Each frontage type shall be located in compliance with the facade zone per 19.10.100.D.5 (Building Placement) of the Zoning District.

Table 19.10.120.A: Frontage Types Overview

Front Yard



The main facade of the building has a planted setback from the front design site line providing a buffer from the street. The yard may be fenced or unfenced to be visually continuous with adjacent yards, supporting a landscape that generates an open and green streetscape.

Porch: Projecting



The main facade of the building is set back from the front design site line. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories, is open on three sides, and all habitable space is located behind the building setback line.

Porch: Engaged



The main facade of the building is set back from the front design site line. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories and has two adjacent sides that are engaged to the building, roofed, and the other two sides are open.

Stoop



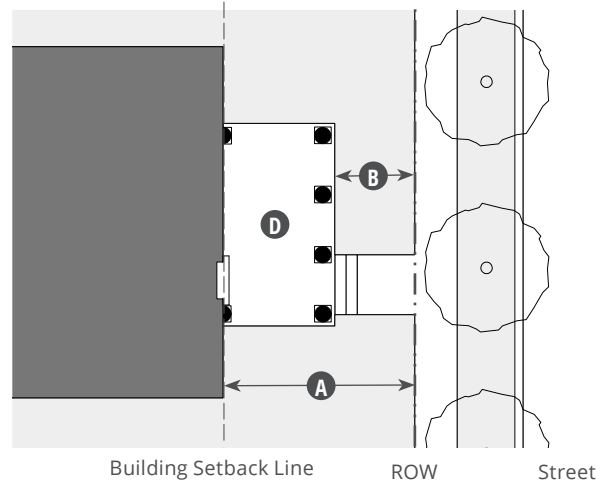
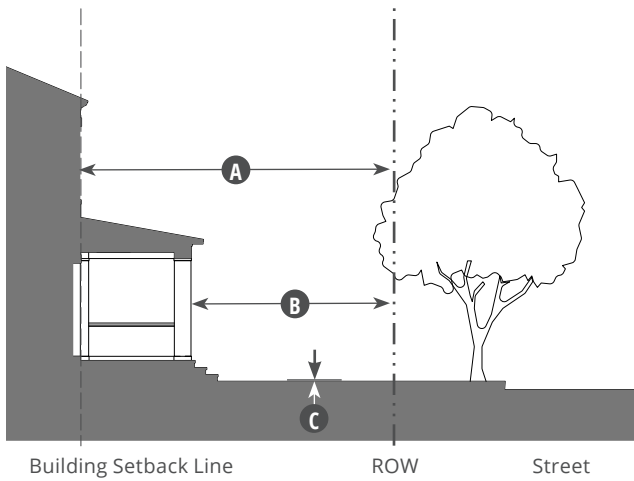
The main facade of the building is near the side street design site line and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The stoop is appropriate for residential uses with small setbacks.

Dooryard



The main facade of the building is set back from the side street design site line, which is defined by a low wall, hedge, or other allowed screening creating a small dooryard. Each dooryard is separated from adjacent dooryards. The dooryard may be raised or at grade.

19.10.120.D Front Yard



Key
 ---- ROW / Design Site Line ——— Building Setback Line

1. Description

The main facade of the building has a planted setback from the front design site line providing a buffer from the street. The yard may be fenced or unfenced to be visually continuous with adjacent yards, supporting a landscape that generates an open and green streetscape.

2. Size

Depth	per 19.10.100.D.5	A
Distance between Porch and Sidewalk	10' min.	B
Finish Level above Sidewalk	18" min.	C

3. Miscellaneous

Fences or allowed screening between front yards or between the sidewalk and front yard are allowed up to 3' tall.

Front Yards may include a Porch or other allowed elements such as a fence or entry feature.



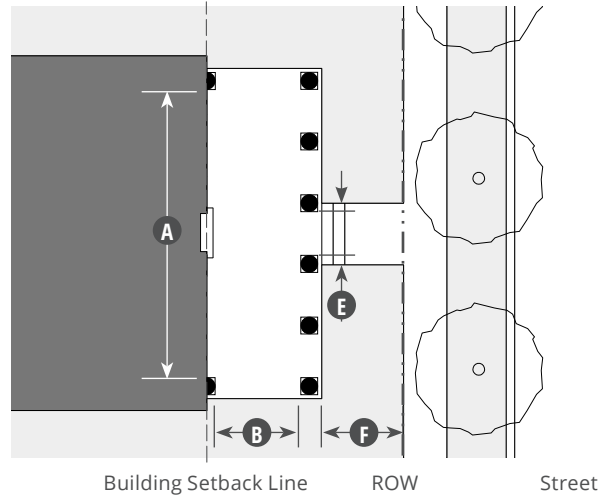
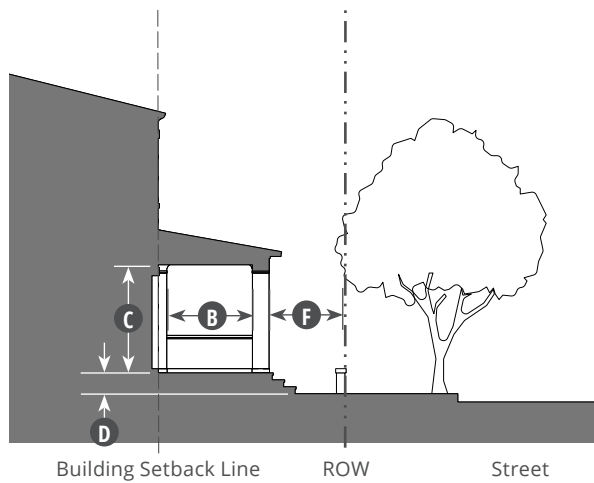
Fenced front yard with lighted entry gate.



Simple Front Yard with path leading to entry.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.E Porch: Projecting



Key

--- ROW / Design Site Line — Building Setback Line

1. Description

The main facade of the building is set back from the front design site line. The resulting front yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories, is open on three sides, and all habitable space is located behind the building setback line.

2. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Finish Level above Sidewalk	18" min.	D
Stories	2 max.	
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	5' min.	F

3. Miscellaneous

Projecting porches shall be open on three sides and have a roof.

Where porches are allowed, a projecting porch is an allowable projection into setback.



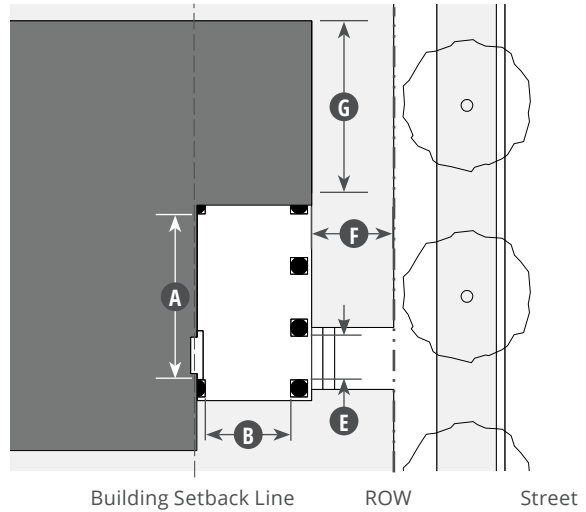
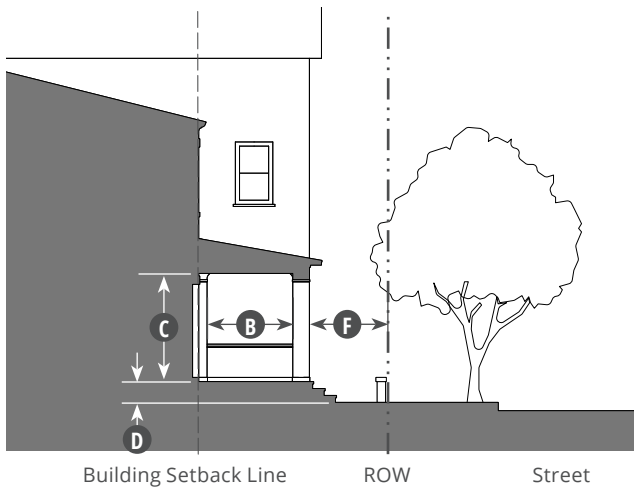
A projecting porch that matches the symmetry of the house.



Wrap-around projecting porch on the front and side facades to create a nice seating space.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.F Porch: Engaged



Key

--- ROW / Design Site Line — Building Setback Line

1. Description

The main facade of the building is set back from the front design site line. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the edge of the street. The porch may be single-story or two-stories and has two adjacent sides that are engaged to the building, roofed, and the other two sides are open.

2. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Stories	2 max.	
Finish Level above Sidewalk	18" min.	D
Pedestrian Access	3' wide min.	E
Distance between Porch and Sidewalk	5' min.	F

3. Miscellaneous

Up to 20 percent of the building facade and porch(es) may project beyond the building setback line into the required front setback. **G**



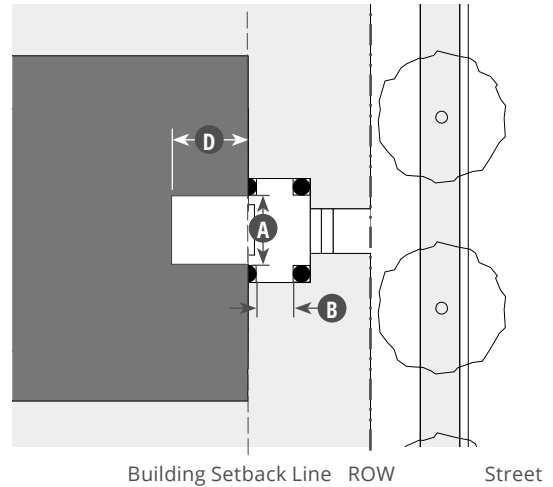
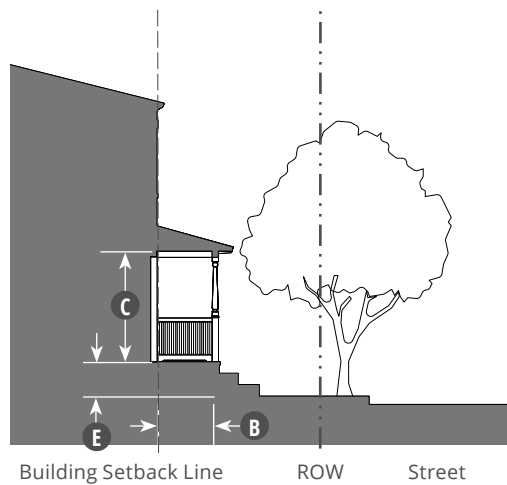
2-story engaged porch with its long side fronting the street.



Engaged porch with centered entry.

General Note: Photos on this page are illustrative, not regulatory.

19.10.120.G Stoop



Key

---- ROW / Design Site Line --- Building Setback Line

1. Description

The main facade of the building is near the side street design site line and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-accessed. The stoop is appropriate for residential uses with small setbacks.

2. Size

Width, Clear	5' min.; 8' max.	A
Depth, Clear	5' min.; 8' max.	B
Height, Clear	8' min.	C
Stories	1 max.	
Depth of Recessed Entries	6' max.	D
Finish Level above Sidewalk	18" min.	E

3. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

Entry doors are covered or recessed to provide shelter from the elements.

Gates are not allowed.

All doors shall face the street.

General Note: Photos on this page are illustrative, not regulatory.

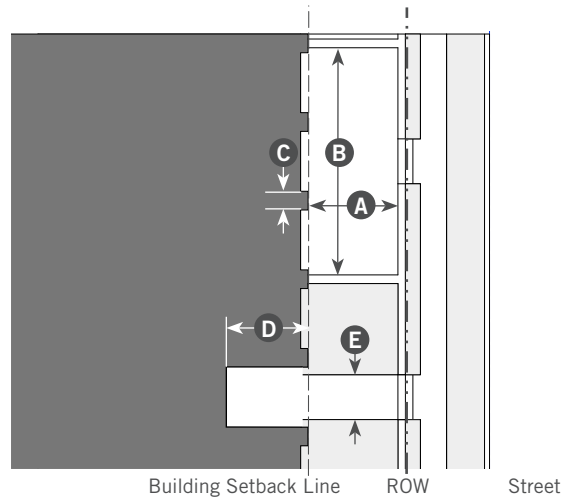
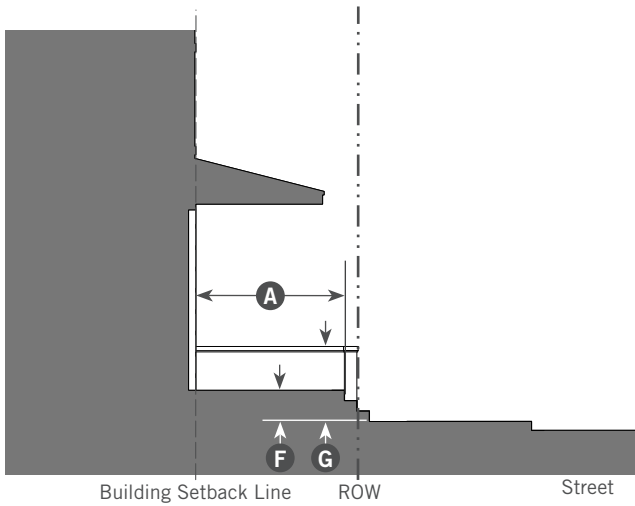


Stoop frontage along side street for this second entrance elevates the ground floor from the street level.



Stoop leading to prominent side street entry and visually enhanced by landscaping.

19.10.120.H Dooryard



Key

---- ROW / Design Site Line - - - Building Setback Line

1. Description

The main facade of the building is set back from the side street design site line, which is defined by a low wall, hedge, or other allowed screening creating a small dooryard. Each dooryard is separated from adjacent dooryards. The dooryard may be raised or at grade.

2. Size

Depth, Clear	8' min.	(A)
Length	50' max.	(B)
Distance between Glazing	4' max.	(C)
Depth of Recessed Entries	5' max.	(D)
Pedestrian access	3' wide min.	(E)
Finish Level above Sidewalk	24" max.	(F)
Height of Dooryard Fence/Wall above Finish Level	36" max.	(G)

3. Miscellaneous

Each Dooryard shall provide access to only one ground floor entry.



Dooryards include low fences to provide a visual transition from the public sidewalk and provide outdoor area along sidewalk.



Dooryards provide small, raised outdoor gardens along the front of each ground floor unit.

General Note: Photos on this page are illustrative, not regulatory.